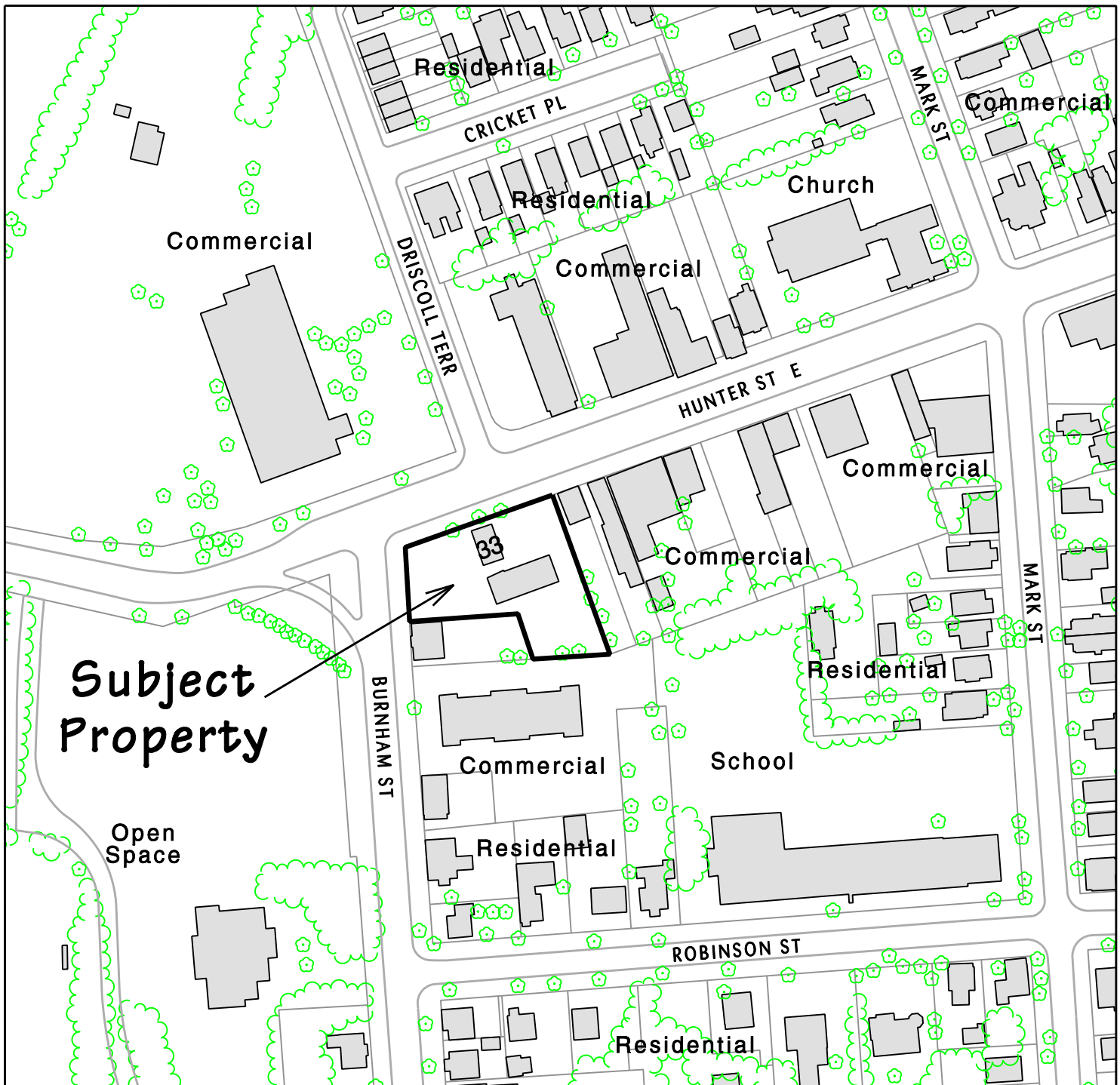


# Land Use Map

File # z1014

Property Location: 33 Hunter St E

EXHIBIT  
SHEET OF



The City of Peterborough Planning Division

The "City of Peterborough," its employees, or agents, do not undertake to guarantee the validity of the contents of this digital or hardcopy mapfile, and will not be liable for any claims for damages or loss arising from their application or interpretation, by any party. It is not intended to replace a survey or to be used for legal description.



Date - June 2010  
Dwg. by - CBerry  
Scale - 1:2000



ALL WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE AND ALL WORK OUTSIDE PROPERTY WILL BE BY PERFORMED IN ACCORDANCE WITH THE APPROVED DRAWINGS PREPARED BY MC.CORMICK RANKIN CORPORATION.

TOPOGRAPHIC PLAN  
OF LOT 14 AND PART OF LOT 15  
SOUTH OF HUNTER STREET  
EAST OF BURNHAM STREET  
REGISTERED PLAN N° 1A

CITY OF PETERBOROUGH  
COUNTY OF PETERBOROUGH



KEY PLAN  
N.T.S.

GENERAL NOTES:

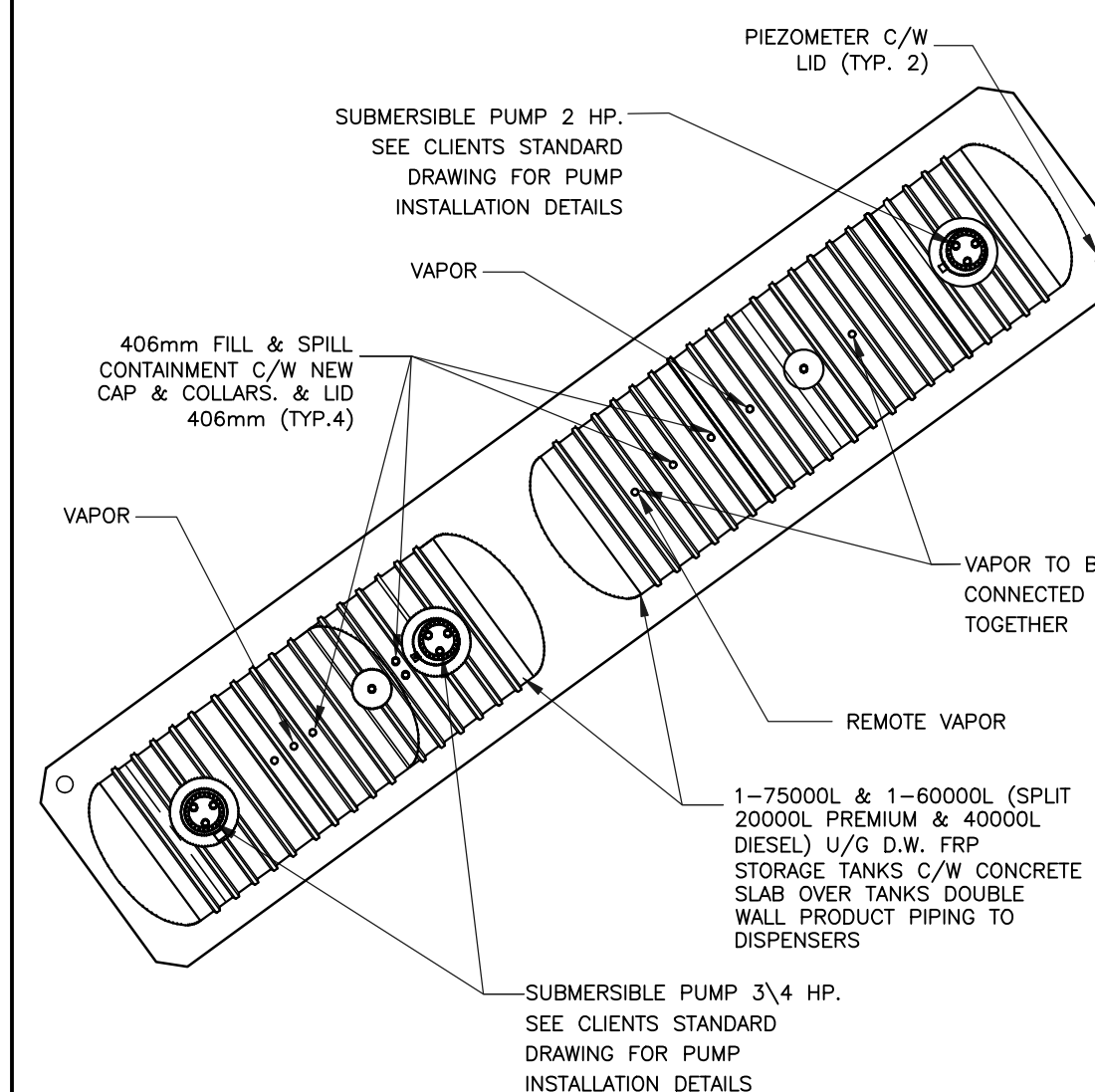
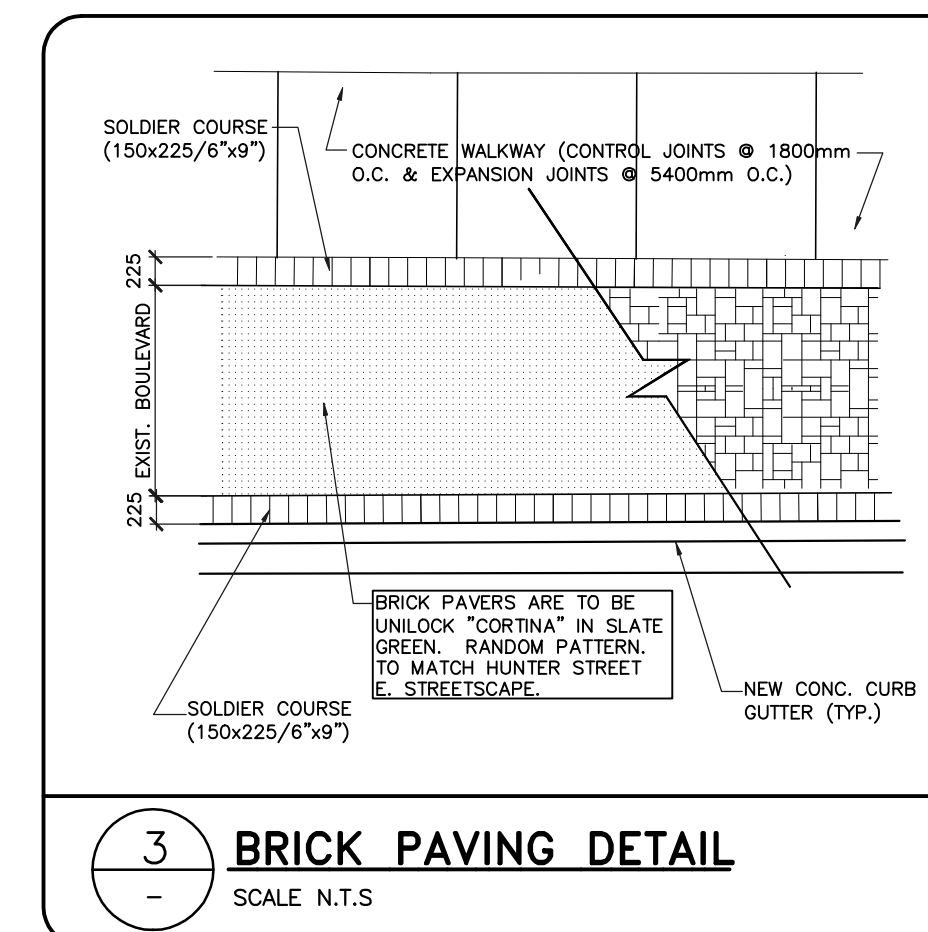
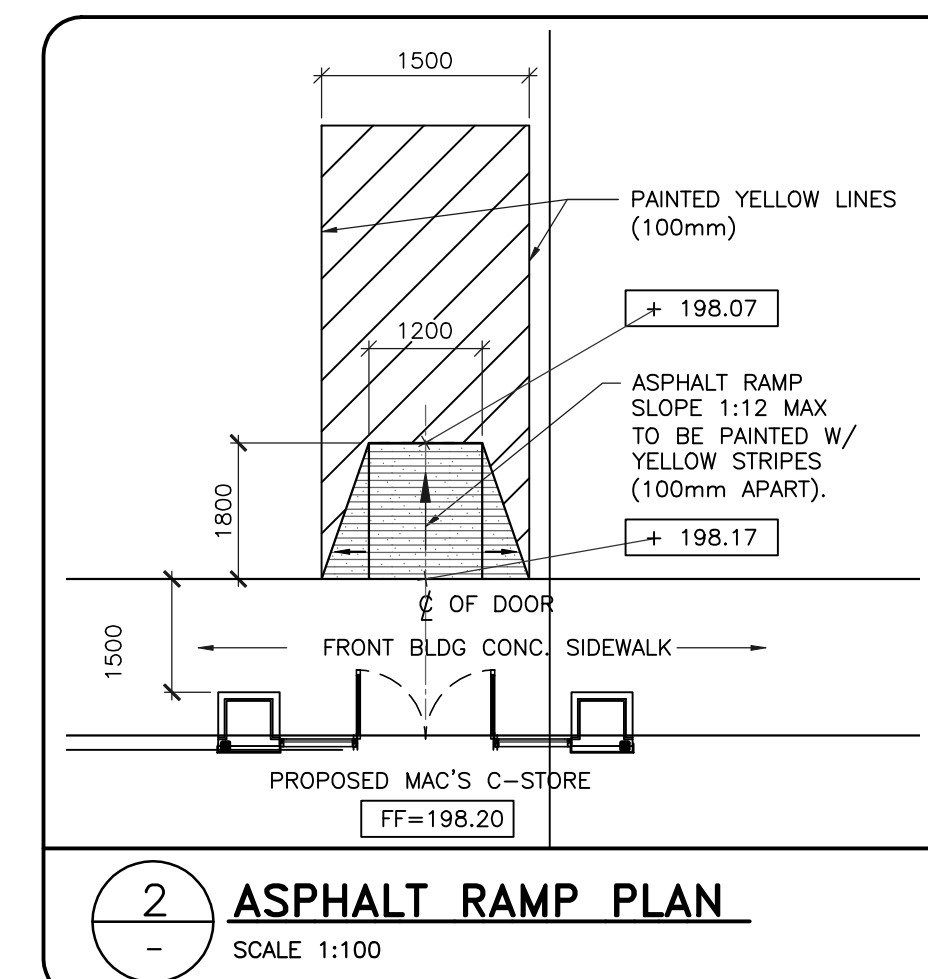
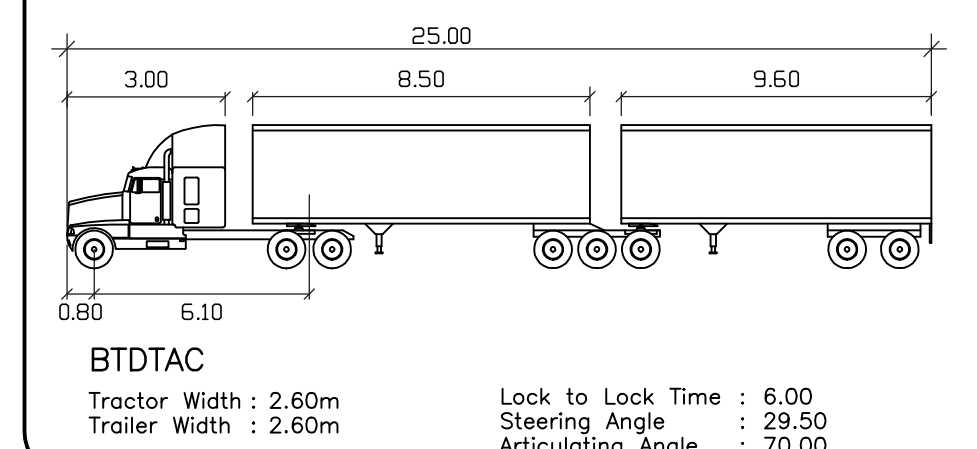
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER WHERE APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION" FOR REFERENCES.
5. DESIGN AND CONSTRUCTION OF THE PROJECT SHALL COMPLY WITH THE LATEST EDITION OF PROVINCIAL AND MUNICIPAL BUILDING CODES.
6. ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE LATEST EDITION OF PROVINCIAL BUILDING CODE.
7. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS AND SPECIFICATIONS.
8. ALL OUTDOOR LIGHTING SHALL BE DIRECTED DOWNWARD AND SHIELDED SO AS NOT TO PROJECT BEYOND THE OWNER'S LAND, NOR TO CAUSE A GLARE THAT WOULD IMPACT ADJACENT PROPERTIES OR PASSING TRAFFIC.
9. RESPECTING ALL WORK IN THE CITY RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
10. A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE CITY ROAD ALLOWANCE.
11. ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER CITY FIELD STAFF DIRECTION.
12. NEW 200mm THK. CONC. SIDEWALK w/ 250mm GRANULAR 'A' BASE (BOTH ENTRANCES)
13. ALL WORK IN THE ROAD ALLOWANCES IS TO BE COORDINATED WITH THE CITY OF PETERBOROUGH PUBLIC WORKS DEPARTMENT AND THE PLANNER, URBAN DESIGN.
14. ALL NEW SIDEWALK TO BE 150mm THICK 32MPa EXCEPT THE ENTRANCES WHERE THE SIDEWALK THICKNESS TO BE 200mm 32MPa.

SITE PLAN STATISTICS

1	LOT AREA	= 2448.0 sq.m.
2	C-STORE AREA (proposed)	= 273.1 sq.m.
3	LANDSCAPE AREA	= 538.0 sq.m.
4	PAVEMENT AREA (Conc. & Asphalt)	= 1636.87 sq.m.
5	No. OF PARKING REQUIRED	= 273.1 / 23 x 0.85 = 10.1 (11 PARKING SPACE)
	No. OF PARKING PROVIDED	= 16 incl 2 BARRIER FREE (2.7m x 5.9m)
6	No. OF LOADING & UNLOADING	= 1 (3.6mx12.0m)

LEGEND

- CONCRETE PAD AND APRON
- SODDED (LANDSCAPE AREA)
- PROPOSED C-STORE
- STAMP CONC.
- DAYLIGHT TRIANGLE
- BRICK PAVING (BOULEVARD)

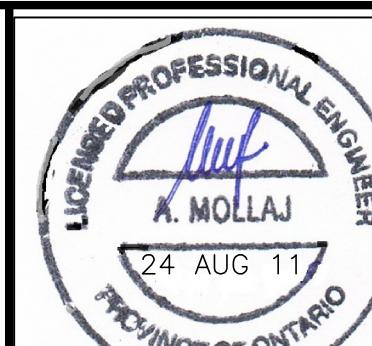


ALL WORK IN THE ROAD ALLOWANCES IS TO BE COORDINATED WITH THE CITY OF PETERBOROUGH PUBLIC WORKS DEPARTMENT AND THE PLANNER, URBAN DESIGN

1 PROPOSED SITE PLAN  
SP-1 SCALE 1:200



203-200 Evans Ave. Etobicoke, Ontario - M8Z 1J7, Ph: 416-201-7681 Fax: 416-201-7680



9	28 AUG 11	REVISED AS PER CITY MEETING AND ISSUED FOR SITE PLAN APPROVAL	AM	AM
8	20 JUL 11	ISSUED FOR BUILDING PERMIT	AM	AM
7	30 JUN 11	RE-ISSUED FOR SITE PLAN APPROVAL	RGD	AM
6	01 JUN 11	REVISED AS PER CITY COMMENTS	SH	AM
5	15 MAR 11	ISSUED FOR SITE PLAN APPROVAL	RGD	AM
4	11 FEB 11	REVISED AS PER BVR COMMENTS	AM	AM
3	05 JAN 11	REVISED AS PER CITY COMMENTS	RGD	AM
2	8 SEP 10	REVISED AS PER CITY COMMENTS	EG	AM
1	2 AUG 10	ISSUED FOR APPROVAL	EG	AM
No.	DATE	REVISIONS	INITIAL	CHECKED



PROPOSED MAC'S GAS BAR  
33 HUNTER STREET EAST  
PETERBOROUGH, ONTARIO

SITE PLAN			
DESIGN:	AM	DWN BY:	EG
SCALE:	AS SHOWN	DWG. FILE:	1024-SP-1
DATE:	2 AUG 10	PROJ. No.	1024

SHEET No.  
1 of 1

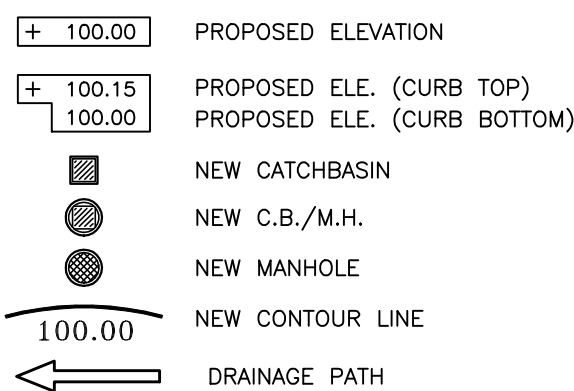
SP-1





CONTRACTOR TO LOCATE ALL EXISTING INCOMING SERVICES IN COORDINATION WITH LOCAL UTILITY AGENCIES (GAS, HYDRO & TELEPHONE)

CONTRACTOR TO HAVE ALL EXISTING UNDERGROUND UTILITIES LOCATED AND  
IT'S THEIR RESPONSIBILITY TO DO SO.



CITY OF PETERBOROUGH  
COUNTY OF PETERBOROUGH

1. ALL SILT FENCE TO BE INSTALLED AND ERECTED AS PER CITY.
2. EROSION CONTROL FENCING TO BE ALSO INSTALLED AROUND THE BASE OF ALL STOCKPILES.
3. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MANHOLES AND CATCH BASINS AS PER CITY REQUIREMENTS.
4. DO NOT LOCATE TOPSOIL PILES AND EXCAVATION MATERIAL CLOSER THAN 2' FROM ANY PAVED SURFACE, OR ONE WHICH IS TO BE PAVED BEFORE THE PILE IS REMOVED. ALL TOPSOIL PILES ARE TO BE SEED IF THEY ARE TO REMAIN ON SITE LONG ENOUGH FOR SEEDS TO GROW (LONGER THAN 30 DAYS).
5. CONTROL WIND-BLOWN DUST OFF SITE TO ACCEPTABLE LEVELS BY SEEDING TOPSOIL PILES AND OTHER AREAS TEMPORARILY (PROVIDE WATERING AS REQUIRED).
6. WOVEN GEOTEXTILE ARE TO BE TERRAFIX 270R FILTER FABRIC, AND REPLACED PERIODICALLY WHEN ACCUMULATED SEDIMENTS INTERFERES WITH DRAINAGE.
7. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES, CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
8. EROSION CONTROL STRUCTURES TO BE MONITORED REGULARLY AND ANY DAMAGE REPAIRED IMMEDIATELY. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/2' THE HEIGHT OF THE FENCE.
9. ALL EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
10. NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED WITHOUT APPROVES BY THIS CONSULTING ENGINEER AND THE CITY OF PETERBOROUGH UTILITY SERVICE DEPARTMENT.
11. CONTRACTOR RESPONSIBLE FOR MUNICIPAL ROADWAY SHOULD KEEP THE SIDEWALK CLEANED OF ALL SEDIMENTS FROM VEHICULAR TRACKING AT THE END OF EACH WORK DAY.
12. NO GRAVEL ENTRANCE WHEREVER EQUIPMENT LEAVES THE SITE TO PROVIDE MUD TRACKING ONTO PAVED SURFACES. GRAVEL BED SHALL BE A MINIMUM OF 15mm LONG, 4M WIDE AND 0.3m DEEP AND SHALL CONSIST OF COARSE (50mm CRUSHED-RUN LIMESTONE) MATERIAL, MAINTAIN GRAVEL ENTRANCE IN CLEAN CONDITION.
13. DURING WET CONDITIONS, TIRES OF ALL VEHICLES/EQUIPMENT LEAVING THE SITE ARE TO BE SCRAPED.
14. NO MATERIAL TRACKED ONTO THE ROAD SHALL BE REMOVED IMMEDIATELY BY HAND OR RUBBER TIRE LOADER.
15. SHOULD UNFORESEEN PROBLEMS ARISE, THE OWNER'S AGREE TO TAKE APPROPRIATE REMEDIAL ACTION TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING.
16. TAKE ALL NECESSARY STEPS TO PREVENT BUILDING MATERIAL, CONSTRUCTION DEBRIS OR WASTE BEING DEPOSITED OR DUMPED ONTO ADJACENT PROPERTIES OR PUBLIC STREETS THROUGHOUT CONSTRUCTION AND PROCEED IMMEDIATELY TO CLEAN UP ANY AREAS SO AFFECTED.

1. THE DAILY, OR MORE FREQUENTLY IF REQUIRED, WETTING OF ALL SOFT AND HARD SURFACES AND EXCAVATION FACE ON THE SITE, WITH THE ADDITION OF CALCIUM CHLORIDE OR OTHER RECOMMENDED MATERIALS AS A DUST SUPPRESSANT, IF REQUIRED.
2. THE DAILY CLEANING OF ROAD PAVEMENT AND SIDEWALKS FOR THE ENTIRE FRONTAGE OF THE PROPERTY TO A DISTANCE OF TWENTY-FIVE (25) METERS FROM THE PROPERTY LINE.
3. THE DESIGNATION OF TRUCK LOADING POINTS TO AVOID TRUCKS TRACKING POTENTIALLY CONTAMINATED SOIL AND DEMOLITION DEBRIS OFF SITE. SUCH LOADING POINTS SHOULD BE LOCATED ON GRAVEL BASE TO MINIMIZE TRACKING OF SOIL ONTO THE SIDEWALK AND THE STREET. IF THE LOADING POINT BECOMES CONTAMINATED IT SHOULD BE CLEANED AND REPLACED.
4. ALL TRUCKS AND VANS LEAVING THE SITE SHOULD BE CLEANED OF ALL LOOSE SOIL AND DEMOLITION DEBRIS. THIS CLEANING SHOULD BE DONE BY TIRES AND SWEEPING OR WASHING OF EXTERIORS AND TAILGATES BY A DESIGNATED LABORER. A DAILY LOG OF EACH TRUCK LEAVING THE SITE SHOULD BE KEPT BY THE APPLICANT (DEVELOPER) NOTING WHEN THE TRUCK WAS CLEANED AND BY WHOM.
5. TARPING ALL TRUCKS LEAVING THE SITE WHICH HAVE BEEN LOADED WITH INDIGENOUS SOIL OR DEMOLITION DEBRIS.
6. AN AIR MONITORING PROGRAM, IF NECESSARY, AS DETERMINED THROUGH CONSULTATION WITH THE MEDICAL OFFICE OF HEALTH.
7. SUPERVISION OF THE DUST CONTROL MEASURES BY A QUALIFIED ENVIRONMENTAL CONSULTANT AS DETERMINED THROUGH CONSULTATION WITH THE MEDICAL OFFICE OF HEALTH.

THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF ALL SITE CONTRACTORS TO HAVE THESE SERVICES LOCATED PRIOR TO ANY EXCAVATION.

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF PETERBOROUGH HORIZONTAL CONTROL MONUMENT 9920000082, BEING A BRASS CAP IN SIDEWALK ON SOUTH SIDE OF HUNTER STREET AT THE EAST SIDE OF THE BRIDGE.  
ELEVATION=199.762m



N.T.S

1. FOR GENERAL NOTES REFER TO SITE PLAN DWG.
2. EVERYTHING IS TO BE CONSIDERED NEW UNLESS NOTED OTHERWISE.
3. EVERYTHING IS TO BE INSTALLED AS PER CLIENT STANDARD SPECIFICATIONS AND DRAWINGS UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND REPORT BACK TO PROJECT ENGINEER ANY DISCREPANCIES.
5. THE CONTRACTOR SHALL CONFORM TO ALL GOVERNING CODE, STANDARDS AND REGULATIONS HAVING JURISDICTION.
6. ALL WORK IN THE ROAD ALLOWANCES IS TO BE COORDINATED WITH THE CITY OF CHICAGO AND THE PUBLIC WORKS DEPARTMENT AND THE PLANNER, URBAN DESIGN.

1. ALL DIMENSIONS AND ELEVATIONS ARE METRIC, UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS AND DESIGN ELEVATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER OR ARCHITECT WHO WILL BE APPLICABLE.
3. THE CONTRACTOR SHALL RESTORE TO ORIGINAL OR BETTER CONDITION FOR ANY EXISTING CONDITION DISTURBED DURING THE CONSTRUCTION AT CONTRACTOR'S EXPENSE.
4. CONTROL MANHOLES ARE TO BE BENCHMARKED TO THE INVERTS.
5. LANDSCAPING SHALL NOT ENCROUGH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
6. STANDARD DRAWINGS OF THE CITY OF PETERBOROUGH CONSTITUTE PART OF THE PLANS OF THE CONTRACT.
7. ANY CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AS PER CITY OF PETERBOROUGH'S REQUIREMENTS.
8. MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE INVERTS OF THE SEWER MAIN AND THAT OF A WATER MAIN SHALL COMPLY WITH THE CITY AND LOCAL BY-LAWS AT ALL CROSSINGS.
9. CONSTRUCT PAVEMENT AS SPECIFIED. SEE PAVEMENT STRUCTURE DETAILS ON THIS DRAWING.
10. ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB TO CITY OF PETERBOROUGH STANDARDS. ALL OTHER CURBS SHALL BE 150mm ABOVE FINISHED GRADE (A.F.G.) UNLESS OTHERWISE NOTED. DRIVEWAY CURBS ARE TO BE DISCONTINUOUS AT SIDEWALKS AND TAPERED BACK MINIMUM OF 300mm OR TO THE APPROVAL OF THE DESIGN ENGINEER.
11. ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE APPROVAL OF THE DESIGN ENGINEER.
12. A MINIMUM CLEARANCE OF 1000mm FROM ALL ABOVE GROUND SERVICES AND UTILITIES IS REQUIRED.
13. INSTALLATION OF WATER MAIN IN PRIVATE PROPERTY SHALL COMPLY WITH THE CITY AND LOCAL BY-LAWS.
14. OUTWARD LIGHTING ARE TO BE DIRECTED DOWNWARDS AS WELL AS INWARD ONES. NO GLARE FROM ON-SITE LIGHTING SHALL BE DIRECTED ONTO ADJOINING PROPERTIES OR THE ROAD ALLOWANCES.
15. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. BELL, HYDRO, GAS, OR ANY OTHER UTILITIES LOCATED BY THE CITY OR WITHIN THE STREET LINE MUST BE LOCATED AND VERIFIED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
16. ALL SANITARY SEWER, STORM SEWER, AND WATER MAIN ON PRIVATE PROPERTY ARE TO BE INSTALLED IN ACCORDANCE WITH THE PROVINCIAL BUILDING CODE.
17. ALL WATER MAIN AND HYDRANT INSTALLATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST PLANS, STANDARDS, AND SPECIFICATIONS OF THE LOCAL UTILITIES COMMISSION.
18. NO BLASTING IS PERMITTED ON THE CITY OF PETERBOROUGH'S RIGHT-OF-WAY AND NEAR ANY ADJACENT BUILDING.
19. THE REINSTATEMENT OF ASPHALT ROADWAYS, CONCRETE CURBS AND SIDEWALKS ON THE CITY OF PETERBOROUGH'S ROAD ALLOWANCE IS TO BE CARRIED OUT AT THE OWNER'S EXPENSES.
20. EXISTING STORM DRAIN LINES ALONG THE CURB WHICH ARE DISTURBED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITIONS.
21. THE TOP OF ALL CONCRETE CURBS ABUTTING THE MUNICIPAL SIDEWALKS SHALL BE KEPT LEVEL WITH THE SIDEWALKS FOR A DISTANCE OF 300mm PRIOR TO TAPERING DOWN TO FULL HEIGHT CURBS.
22. THE PROPERTY IS TO BE GRADED AND SELF-CONTAINED SO THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM THE BUILDINGS.
23. THE OWNER AND/OR CONTRACTOR IS REQUIRED TO OBTAIN A "ROAD CUT PERMIT" FROM THE TOWN BEFORE COMMENCING ANY WORK ON THE CITY OF PETERBOROUGH'S ROAD ALLOWANCE.
24. "ALL COSTS IN RELATION TO THE RESTORATION OF THE RIGHT OF WAY SHALL BE THAT OF THE APPLICANT."
25. RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
26. A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE.
27. ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER MUNICIPAL FIELD STAFF DIRECTION.
28. ALL NEW SIDEWALK TO BE 150mm Thick 32Mpa EXCEPT THE END RANGES WHERE THE SIDEWALK THICKNESS TO BE 200mm 32Mpa.



MBD: MARSHALL BULK DENSITY  
SPMDD: STANDARD PROCTOR MEAN DRY DENSITY



9						
8	28 AUG 11	REVISED AS PER CITY MEETING		AM	AM	
7	24 AUG 11	REVISED AS PER CITY COMMENTS AND RE-ISSUED FOR SITE PLAN APPROVAL		EP	AM	
6	20 JUL 11	ISSUED FOR BUILDING PERMIT		RGD	AM	
5	30 JUN 11	RE-ISSUED FOR SITE PLAN APPROVAL		RGD	AM	
4	30 MAY 11	ISSUED FOR SP APPROVAL		AM	AM	
3	15 MAR 11	ISSUED FOR SP APPROVAL		EP	AM	
2	03 FEB 11	ISSUED FOR MOE APPROVAL		RGD	AM	
1	30 SEP 10	ISSUED FOR APPROVAL		RGD	AM	



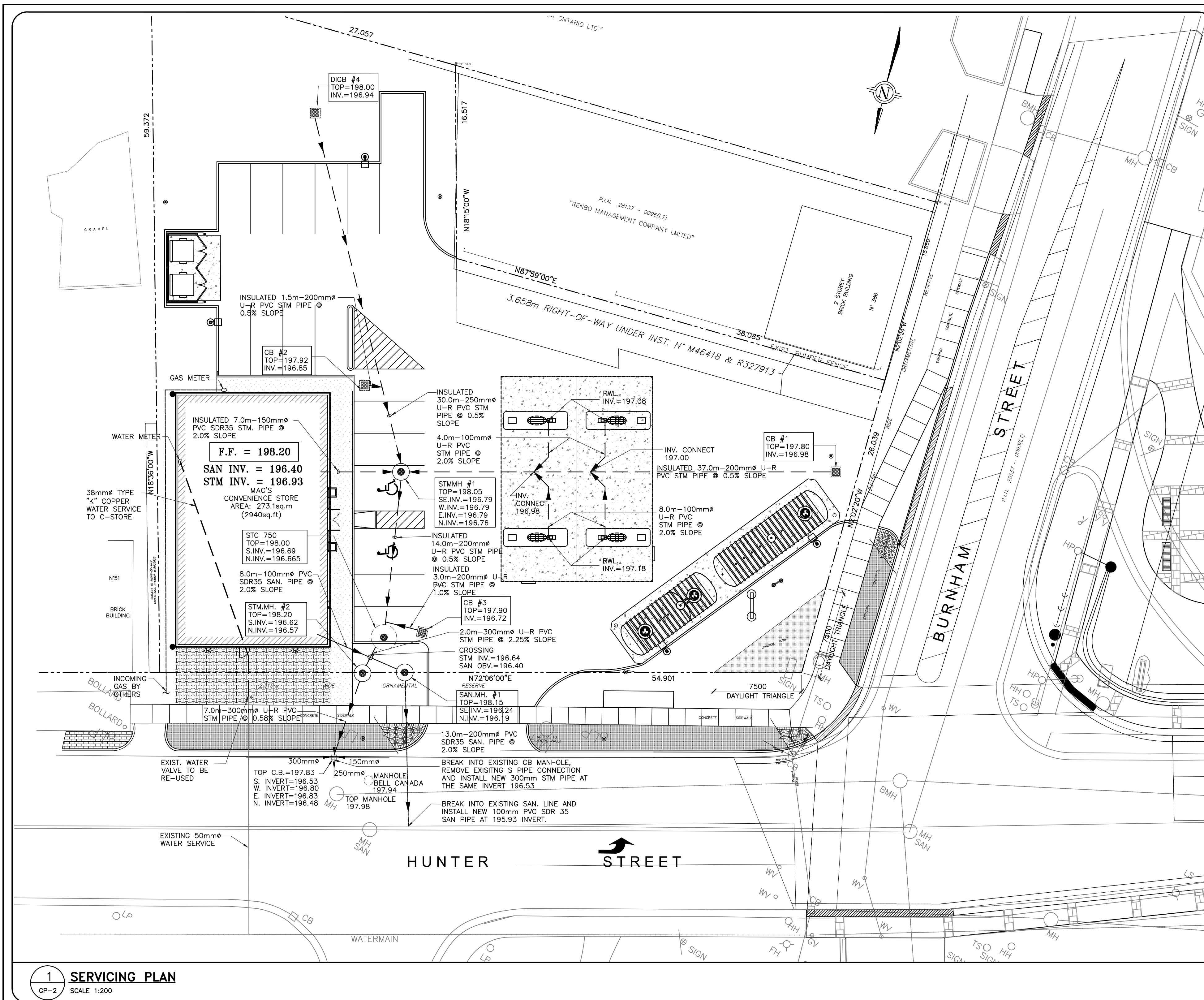
PROPOSED MAC'S GAS BAR  
33 HUNTER STREET EAST  
PETERBOUROUGH, ONTARIO

GRADING PLAN					
	AM		RGD		AM
	AS SHOWN		1024-GP-1	1 of 2	
	15 MAR 11		1024		

GP-1





**NOTE TO CONTRACTOR:**

CONTACT LOCAL UTILITY AGENCIES (GAS, HYDRO & TELEPHONE) TO LOCATE THE EXIST. INCOMING SERVICES & USE SAME TO SERVE NEW INSTALLATIONS.

THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF ALL SITE CONTRACTORS TO HAVE THESE SERVICES LOCATED PRIOR TO ANY EXCAVATION.

**ADDITIONAL SURVEY INFORMATION:**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF PETERBOROUGH HORIZONTAL CONTROL MONUMENT 992000082, BEING A BRASS CAP IN SIDEWALK ON SOUTH SIDE OF BURNHAM STREET AT THE EAST SIDE OF THE BRIDGE.

**LEGEND:**

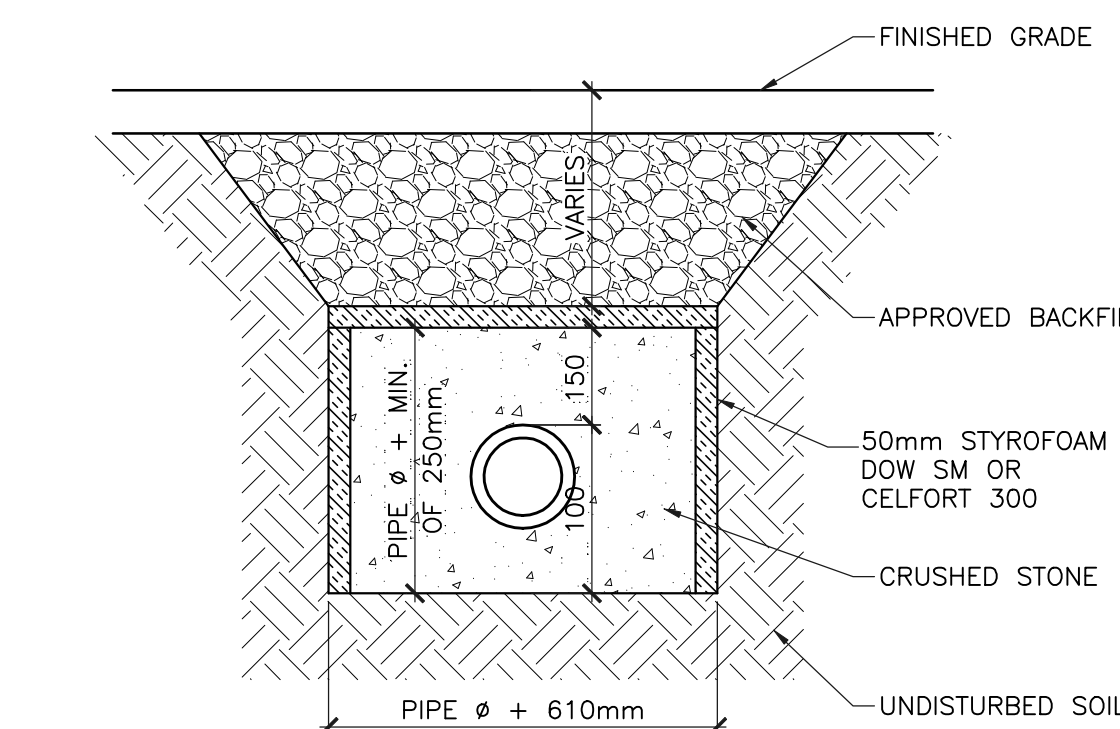
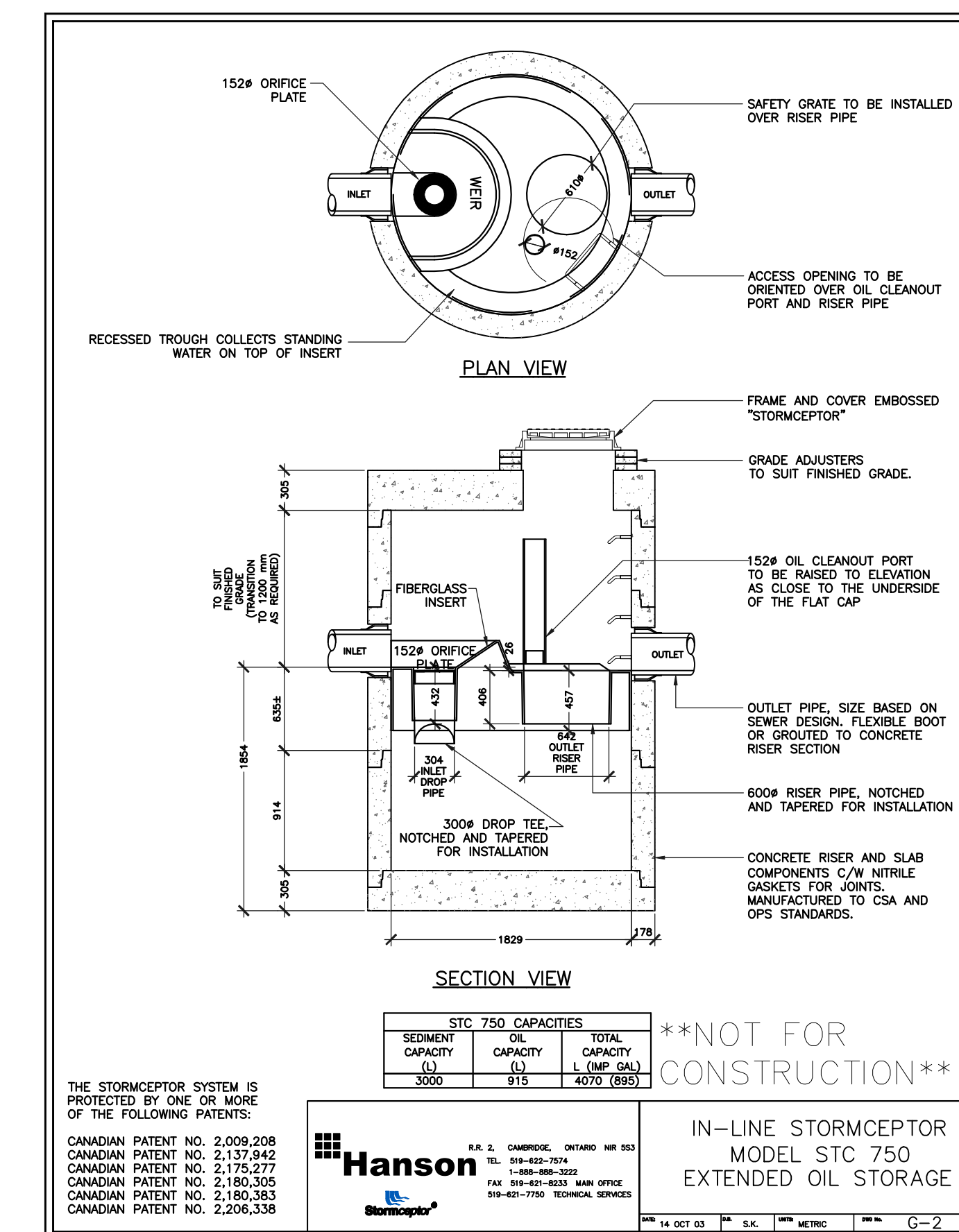
	EXISTING CATCHBASIN		STANDARD IRON BAR
	EXISTING C.B./M.H.		NEW CATCHBASIN
	EXISTING MANHOLE		NEW C.B./M.H.
	EXISTING HYDRO LINE		NEW MANHOLE
	EXISTING GAS LINE		NEW HYDRO LINE
	EXISTING WATER LINE		NEW GAS LINE
	EXISTING SANITARY LINE		NEW WATER LINE
	EXISTING STORM LINE		NEW SANITARY LINE
	EXISTING STORM LINE		NEW STORM LINE

**ADDITIONAL NOTES AS PER CITY:**

- ALL EXISTING MUNICIPAL SERVICE CONNECTIONS TO THE SUBJECT LANDS ARE TO BE IDENTIFIED ON THE PLAN.
- ALL MUNICIPAL WATER AND SANITARY SERVICES TO THE PROPERTY THAT ARE NOT GOING TO BE UTILIZED ARE TO BE ABANDONED AT THE PROPERTY LINE. THE CONTRACTOR IS REQUIRED TO PROVIDE A MINIMUM 48 HRS NOTICE TO THE CITY OF PETERBOROUGH FOR INSPECTION OF THE ABANDONMENT AND OR CONNECTION TO MUNICIPAL SERVICES.
- CONTRACTOR TO APPLY REQUIRED ROAD CUT PERMITS TO CITY OF PETERBOROUGH. HUNTER STREET IS A REGIONAL ROAD AND ANY WORK WITHIN THE ROAD ALLOWANCE WILL REQUIRE REGIONAL APPROVAL AND WORK PERMITS.
- ALL DAMAGED ASPHALT AND CONCRETE TO BE SAWCUT CLEAN AND RESTORED TO EXISTING OR BETTER CONDITION ALL TO THE FULL SATISFACTION OF THE MUNICIPALITY.
- ASPHALT JOINTS ON MUNICIPAL ROADS AND THE MUNICIPAL PARKING LOT ARE TO BE SAW CUT CLEAN AND COLD PLANED A MINIMUM 0.8 METRES TO ENSURE A STEP JOINT. ASPHALT RESTORATION ON HUNTER STREET IS TO BE IN ACCORDANCE WITH REGIONAL STANDARDS.
- THE ASPHALT ON BURNHAM STREET IS TO BE MILLED AND RESURFACE THROUGH THE PROPOSED ENTRANCE AND AROUND THE EXISTING STORM STRUCTURE ENSURING POSITIVE DRAINAGE TO THE EXISTING STORM AND CATCH BASIN LOCATED AT THE INTERSECTION WITH HUNTER STREET.
- STORM AND SANITARY SEWERS ARE TO BE VIDEO INSPECTED AS PER CP 409.01 AND LEAKAGE AND DEFLECTION TESTED AS PER OPSS 410.

TOPOGRAPHIC PLAN  
OF LOT 14 AND PART OF LOT 15  
SOUTH OF HUNTER STREET  
EAST OF BURNHAM STREET  
REGISTERED PLAN N° 1A

CITY OF PETERBOROUGH  
COUNTY OF PETERBOROUGH



**KEY PLAN**  
N.T.S.

**GENERAL NOTES:**

- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER WHERE APPLICABLE.
- USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION" FOR REFERENCES.
- DESIGN AND CONSTRUCTION OF THE PROJECT SHALL COMPLY WITH THE LATEST EDITION OF PROVINCIAL AND CITY BUILDING CODES.
- ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE LATEST EDITION OF PROVINCIAL BUILDING CODE.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS AND SPECIFICATIONS.
- ALL WORK IN THE ROAD ALLOWANCES IS TO BE COORDINATED WITH THE CITY OF PETERBOROUGH PUBLIC WORKS DEPARTMENT AND THE PLANNER, URBAN DESIGN.

**GRADING & SERVICES NOTES:**

- ALL DIMENSIONS AND ELEVATIONS ARE METRIC, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS AND DESIGN ELEVATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER OR ARCHITECT WHERE APPLICABLE.
- THE CONTRACTOR SHALL RESTORE TO ORIGINAL OR BETTER CONDITION FOR ANY EXISTING CONDITION DISTURBED DURING THE CONSTRUCTION AT CONTRACTOR'S EXPENSE.
- CONTROL MANHOLES ARE TO BE BENCHMARKED TO THE OBVERTS.
- LANDSCAPING SHALL NOT ENCRONCH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- STANDARD DRAWINGS OF THE CITY OF PETERBOROUGH CONSTITUTE PART OF THE PLANS OF THE CONTRACT.
- ANY CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AS PER CITY OF PETERBOROUGH'S REQUIREMENTS.
- MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE INVERTS OF THE SEWER AND A CROWN OF WATER MAIN SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS AT ALL CROSSINGS.
- CONSTRUCT PAVEMENT AS SPECIFIED. SEE PAVEMENT STRUCTURE DETAILS ON THIS DRAWING.
- ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB TO CITY OF PETERBOROUGH STANDARDS. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm ABOVE FINISHED GRADE (A.F.G.) UNLESS OTHERWISE NOTED. DRIVEWAY CURBS ARE TO BE DISCONTINUOUS AT SIDEWALKS AND TAPERED BACK MINIMUM OF 300mm OR TO THE APPROVAL OF DESIGN ENGINEER.
- ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE APPROVAL OF THE DESIGN ENGINEER.
- A MINIMUM CLEARANCE OF 1000mm FROM ALL ABOVE GROUND SERVICES AND UTILITIES IS REQUIRED.
- INSTALLATION OF WATER MAIN IN PRIVATE PROPERTY SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS.
- OUTWARD LIGHTING ARE TO BE DIRECTED DOWNWARDS AS WELL AS INWARD ONES.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. BELL, HYDRO, GAS, OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINE MUST BE LOCATED AND VERIFIED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- ALL SANITARY SEWER, STORM SEWER, AND WATER MAIN ON PRIVATE PROPERTY ARE TO BE INSTALLED IN ACCORDANCE WITH THE PROVINCIAL BUILDING CODE.
- ALL WATER MAIN AND HYDRANT INSTALLATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST PLANS, STANDARDS, AND SPECIFICATIONS OF THE LOCAL UTILITIES COMMISSION.
- NO BLASTING IS PERMITTED ON THE CITY OF PETERBOROUGH RIGHT-OF-WAY AND NEAR ANY ADJACENT BUILDING.
- THE REINSTATEMENT OF ASPHALT ROADWAYS, CONCRETE CURBS AND SIDEWALKS ON THE CITY OF PETERBOROUGH'S ROAD ALLOWANCE IS TO BE CARRIED OUT AT THE OWNER'S EXPENSES.
- EXISTING STORM DRAIN LINES ALONG THE CURB WHICH ARE DISTURBED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITIONS.
- THE TOP OF CONCRETE CURBS ABUTTING CITY OF PETERBOROUGH'S SIDEWALKS SHALL BE KEPT LEVEL WITH THE SIDEWALKS FOR A DISTANCE OF 300mm FROM THE SIDEWALK.
- THE PROPERTY IS TO BE GRADED AND SELF-CONTAINED SO THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM THE BUILDINGS.
- THE OWNER AND/OR CONTRACTOR IS REQUIRED TO OBTAIN A "ROAD CUT PERMIT" FROM THE CITY OF PETERBOROUGH BEFORE COMMENCING ANY WORK ON THE CITY OF PETERBOROUGH'S ROAD ALLOWANCE.
- "ALL COSTS IN RELATION TO THE RESTORATION OF THE RIGHT OF WAY SHALL BE THAT OF THE APPLICANT."
- RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
- A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE.
- ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER MUNICIPAL FIELD STAFF DIRECTION.
- ALL NEW SIDEWALK TO BE 150mm THICK 32MPa EXCEPT THE ENTRANCES WHERE THE SIDEWALK THICKNESS TO BE 200mm 32MPa.

PROPOSED MAC'S GAS BAR  
33 HUNTER STREET EAST,  
PETERBOROUGH, ONTARIO

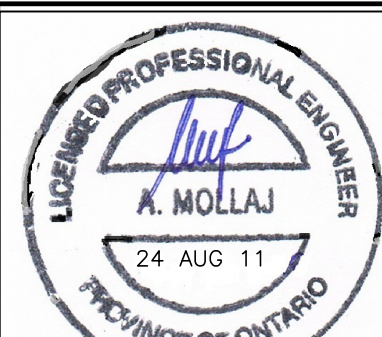
**SERVICING PLAN**

DESIGN:	AM	DWN BY:	EG	CHECK:	AM
SCALE:	AS SHOWN	DWG. FILE:	1024-GP-2	SHEET No.	2 of 2
DATE:	15 MAR 11	PROJ. No.	1024		

**GP-2**



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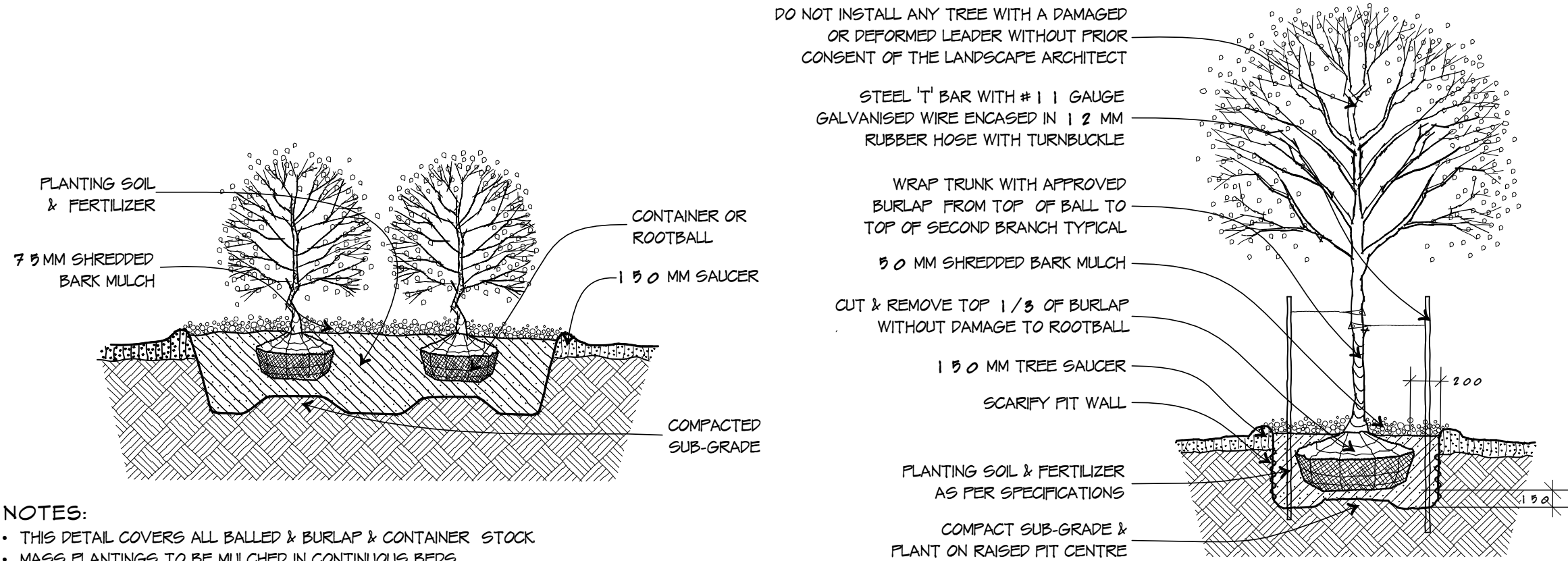
9					
8	28 AUG 11	REVISED AS PER CITY MEETING		AM	AM
7	24 AUG 11	REVISED AS PER CITY COMMENTS AND RE-ISSUED FOR SITE PLAN APPROVAL		EP	AM
6	20 JUL 11	ISSUED FOR BUILDING PERMIT		RGD	AM
5	30 JUN 11	RE-ISSUED FOR SITE PLAN APPROVAL		RGD	AM
4	30 MAY 11	ISSUED FOR SP APPROVAL		AM	AM
3	15 MAR 11	ISSUED FOR SP APPROVAL		EP	AM
2	03 FEB 11	ISSUED FOR MOE APPROVAL		RGD	AM
1	22 JUN 10	ISSUED FOR APPROVAL		EG	AM
No.	DATE	REVISIONS	INITIAL	CHECKED	





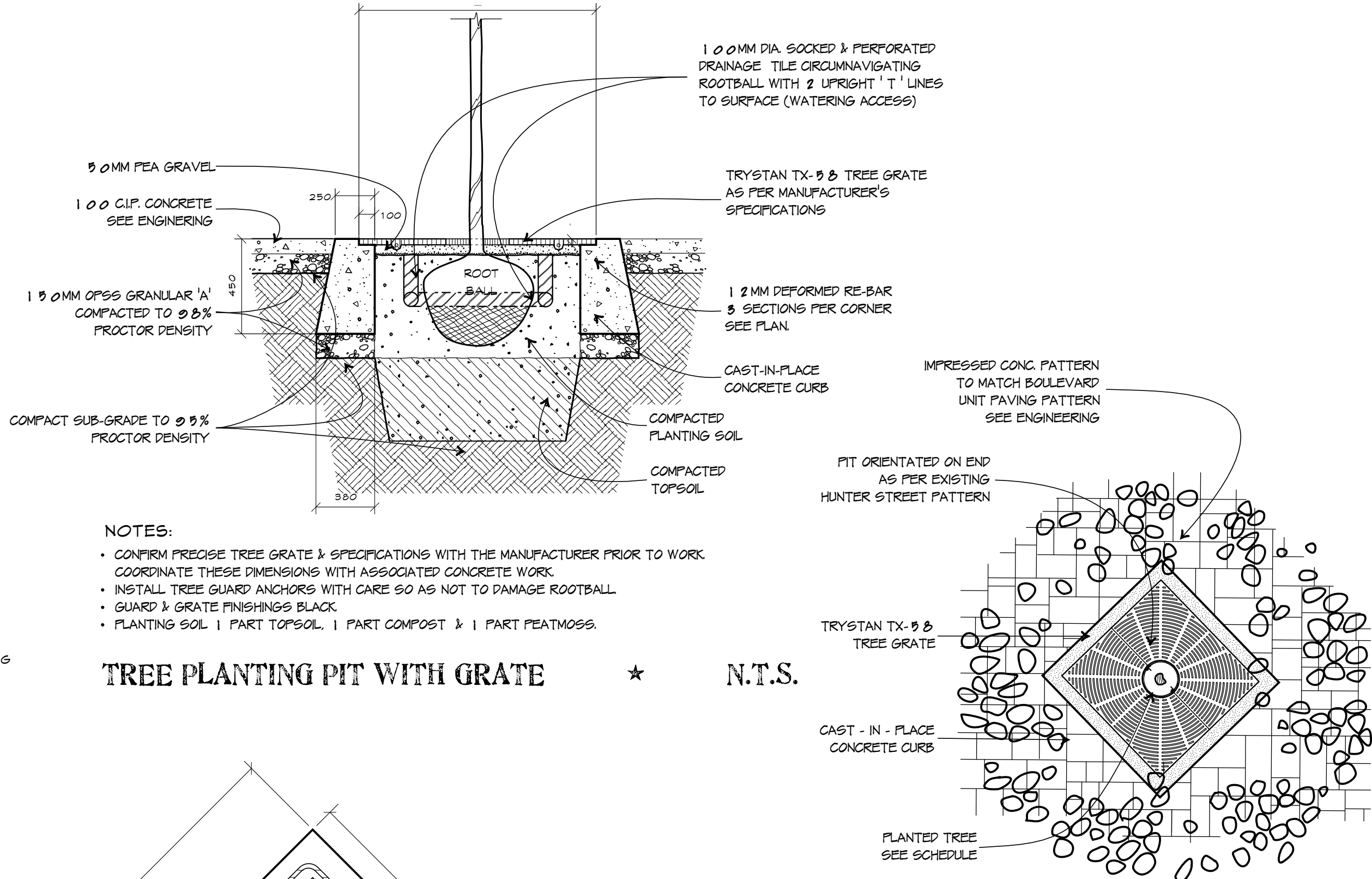
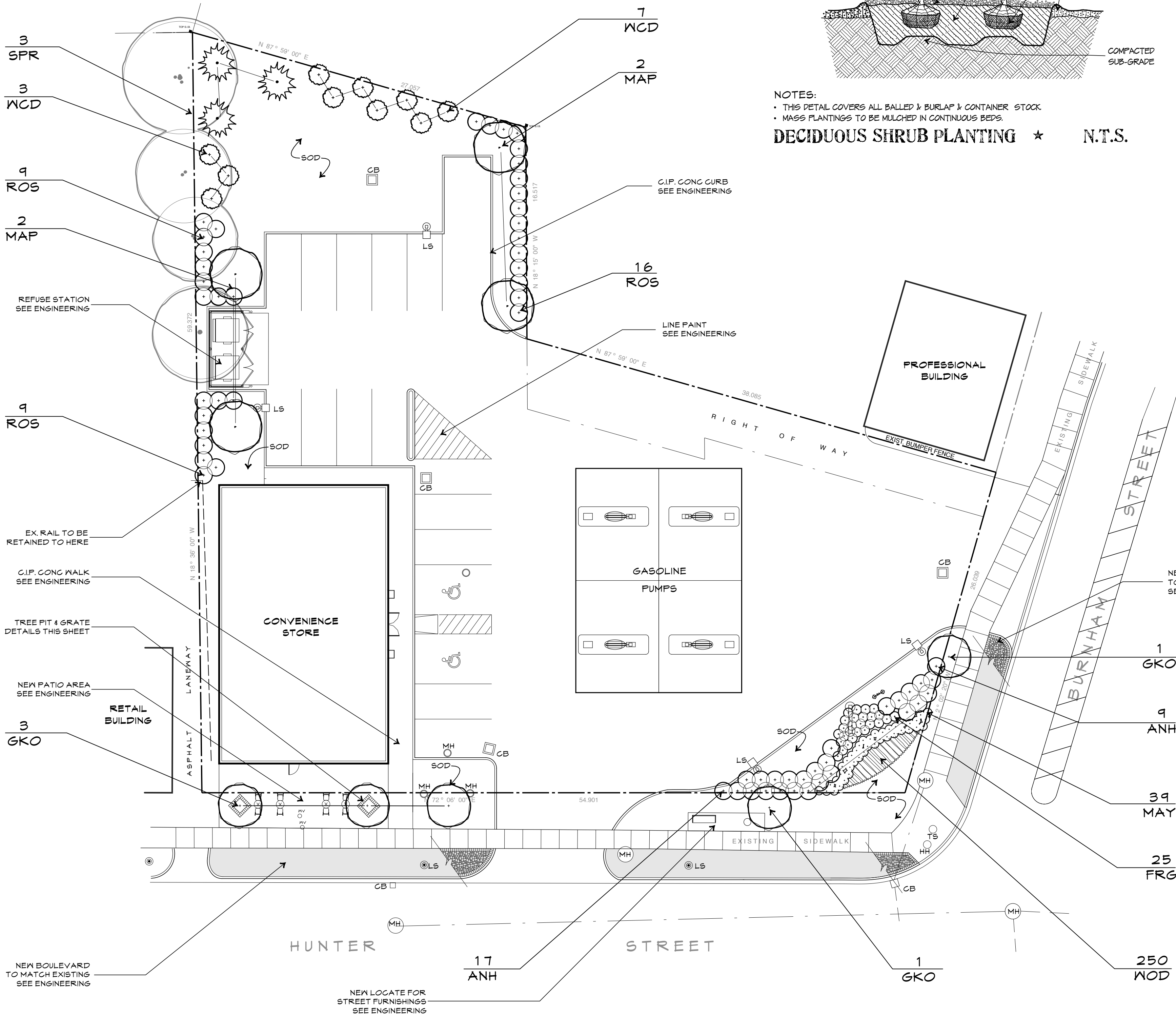
THE SCHEDULE OF PLANTS 4 of 7

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
CONIFEROUS TREES						
SPR	3	PICEA GLAUCA	WHITE SPRUCE	2.0 CM	WB	BUSHY & UNCLIPPED
WCD	10	THUJA OCCIDENTALIS	EASTERN WHITE CEDAR	1.5 CM	WB	BUSHY & UNCLIPPED
DECIDUOUS TREES						
ABM	4	ACER X FREDMANI	AUTUMN BLAZE MAPLE	7.0 MM	WB	EQUAL & STRAIGHT
GKO	5	GINKGO BILOBA 'PRINCETON SENTINEL'	PRINCETON SENTINEL GINKGO	7.0 MM	WB	' '
DECIDUOUS SHRUBS						
ANH	26	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	6.0 CM	CONT	BUSHY HABIT
ROS	34	ROSA RUBOSA	RUGOSA ROSE - PINK	6.0 CM	CONT	' '
PERENNIALS						
FRG	25	CALAMAGROSTIS X ACUTIPOLIA KARL POGERSER'	FEATHER REED GRASS	1 GAL	POT	PLANT 9.5 CM OC.
MOD	250	GALLIUM ORNATUM	SWEET WOODRUFF		PLATS	PLANT 2.0 CM OC.
MAY	39	HEMEROCALLIS 'MAY MAY'	MAY-MAY DAYLILY	1 GAL	POT	PALE YELLOW - DOUBLE FLOWER
TOPSOIL						
SCREENED TOPSOIL TO MEET THE REQUIREMENTS OF OPSS 97.0.9.0.1 OR LATEST VERSION. FERTILE SANDY LOAM, FREE OF DEBRIS & STONES OVER 5.0 MM DIA.						
SOL MIX FOR PLANTING PITS (1 PART SCREENED TOPSOIL, 1 PART COMPOST, 1 PART PEATMOSS)						
• 1.5 CM OVER ALL AREAS SPECIFIED AS SOD • 7.5 CM OVER ALL AREAS SPECIFIED AS SEED •						
• 5.0 CM FOR ANNUAL BEDS, 4.5 CM FOR PERENNIAL BEDS, 6.0 CM FOR SHRUB PITS & 9.0 CM FOR TREE PITS.						



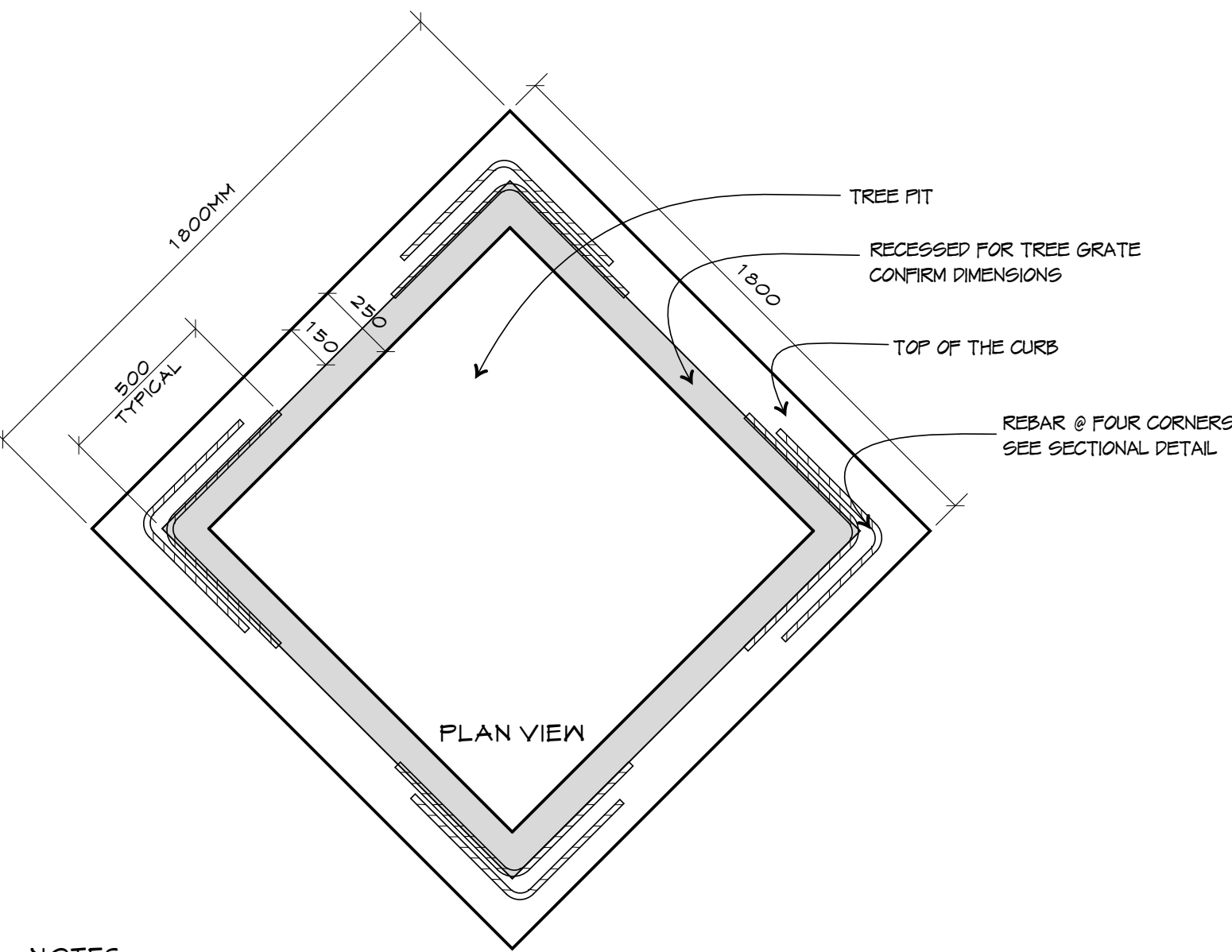
NOTES:  
• THIS DETAIL COVERS ALL BALLED & BURLAP & CONTAINER STOCK  
• MASS PLANTINGS TO BE MULCHED IN CONTINUOUS BEDS.  
**DECIDUOUS SHRUB PLANTING \* N.T.S.**

**DECIDUOUS TREE PLANTING \* N.T.S.**



NOTES:  
• CONFIRM PRECISE TREE GRATE & SPECIFICATIONS WITH THE MANUFACTURER PRIOR TO WORK. COORDINATE THESE DIMENSIONS WITH ASSOCIATED CONCRETE WORK.  
• INSTALL TREE GUARD ANCHORS WITH CARE SO AS NOT TO DAMAGE ROOTBALL.  
• GUARD & GRATE FINISHES BLACK.  
• PLANTING SOL 1 PART TOPSOIL, 1 PART COMPOST & 1 PART PEATMOSS.

**TREE PLANTING PIT WITH GRATE \* N.T.S.**



NOTES:  
• THIS DETAIL APPLIES ONLY TO THOSE PLANTING PITS WITH TREE GRATES.  
• CURB TO COMPLY WITH OPSS 060.1.1.00 OR LATEST VERSION.  
• CONCRETE STRENGTH SEE ENGINEERING.  
**CAST-IN-PLACE CONCRETE CURB @ TREE PITS \* N.T.S.**

**\* MATERIALS & PATTERNS**



**33 HUNTER STREET EAST**  
PETERBOROUGH \* ONTARIO \* CANADA

**LANDSCAPE PLAN**

SCALE 1:200 PROJECT No. 211-7 DATE FEB 3, 2011 LAST REVISED AUG 29, 2011 DWG. No. L-11.1 OF. 1





DESIGN IS BASED ON THE FULL INTERACTION OF ALL COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURING DURING CONSTRUCTION.

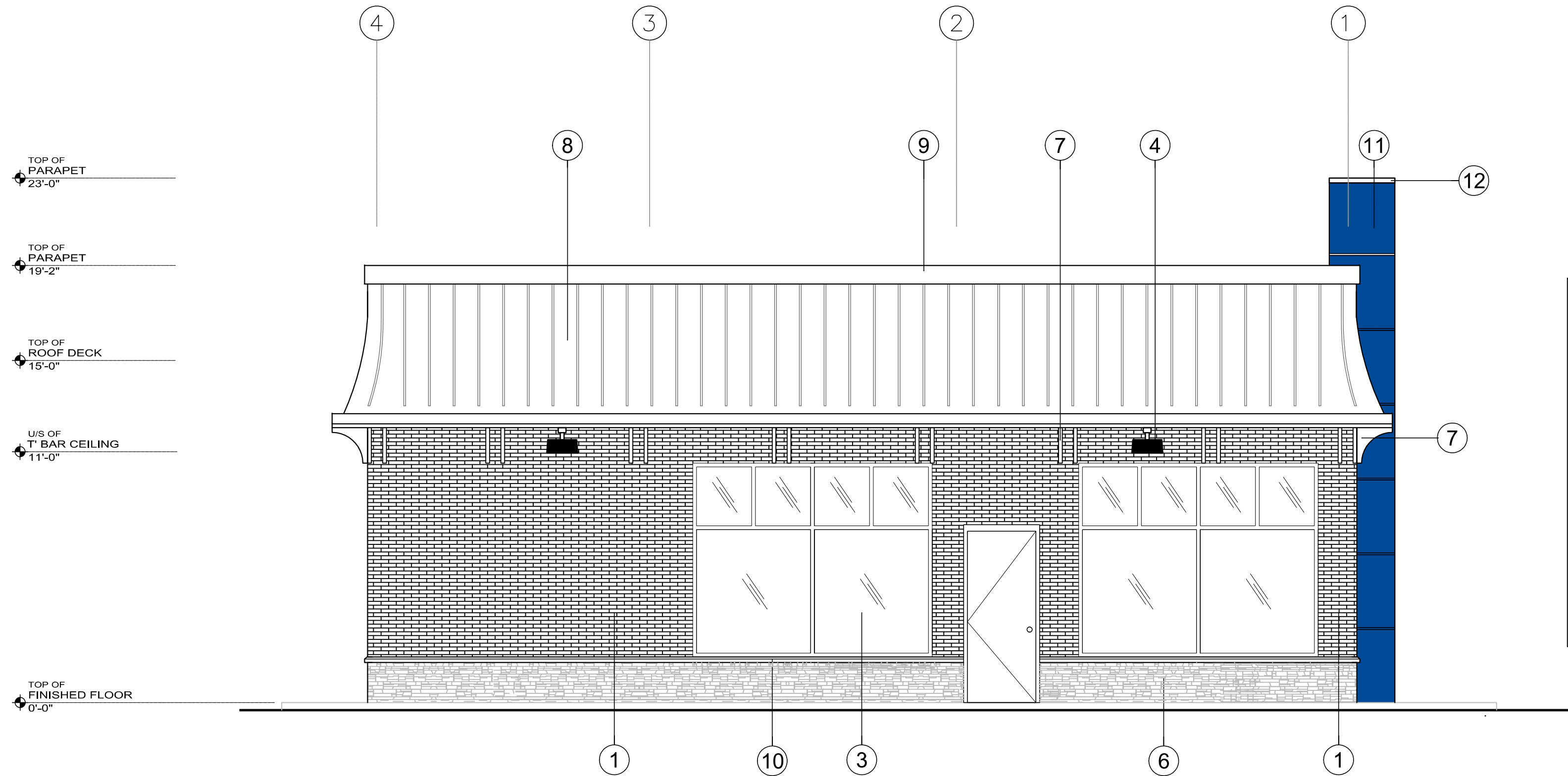
ALL INFORMATION ON THIS DRAWING IS THE PROPERTY OF ARMOCLAN ENGINEERING LTD.

NOTES:

- 1. FOR GENERAL NOTES REFER TO SITE PLAN DWG.
- 2. EVERYTHING IS TO BE CONSIDERED NEW UNLESS NOTED OTHERWISE.
- 3. EVERYTHING IS TO BE INSTALLED AS PER CLIENT STANDARD SPECIFICATIONS AND DRAWINGS UNLESS NOTED OTHERWISE.
- 4. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND REPORT BACK TO PROJECT ENGINEER ANY DISCREPANCIES.
- 5. THE CONTRACTOR SHALL CONFORM TO ALL GOVERNING CODE, STANDARDS AND REGULATIONS HAVING JURISDICTION.

GENERAL NOTES:

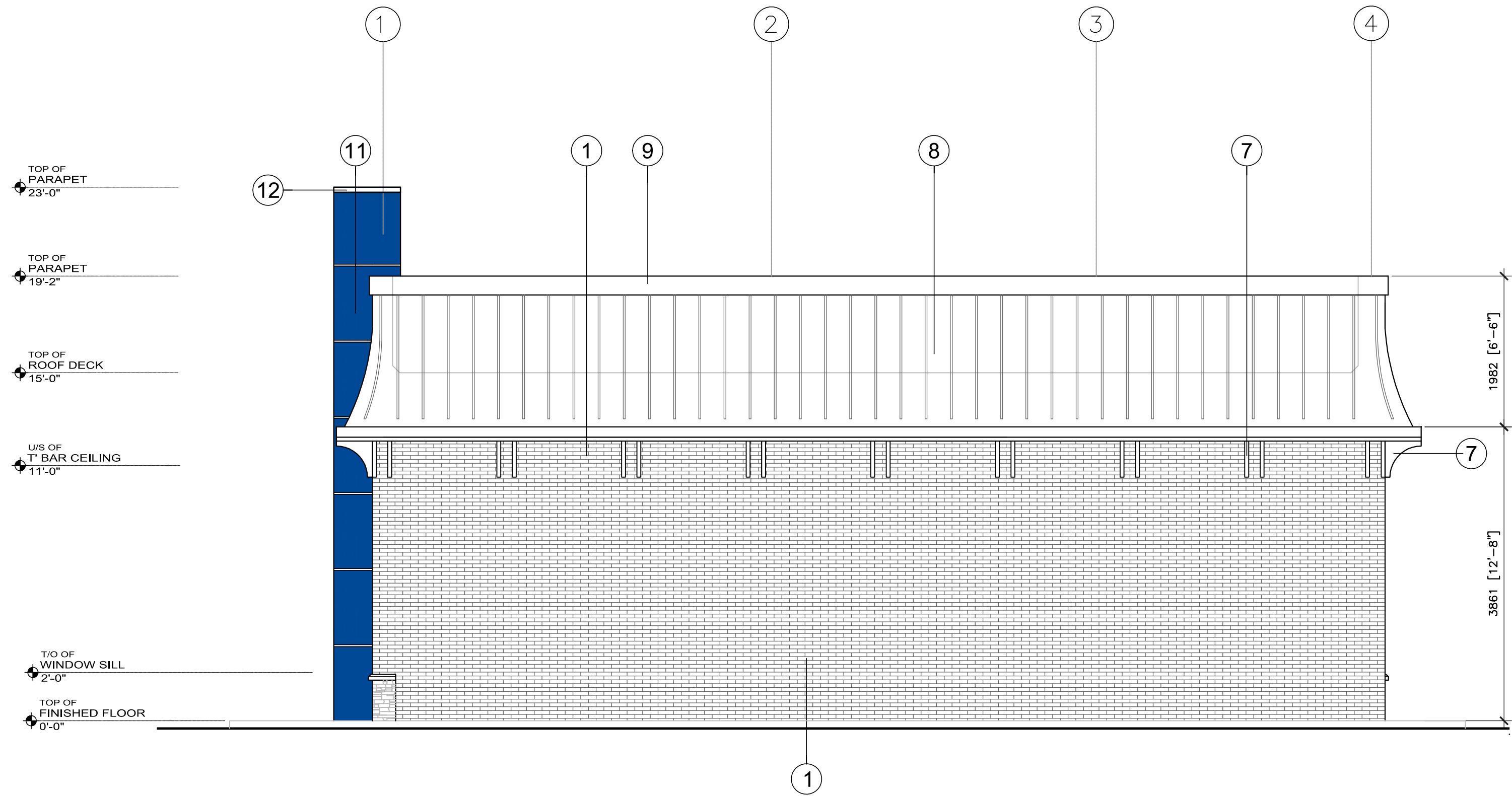
- 1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 2. DO NOT SCALE DRAWINGS.
- 3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER WHERE APPLICABLE.
- 4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION" FOR REFERENCES.
- 5. DESIGN AND CONSTRUCTION OF THE PROJECT SHALL COMPLY WITH THE LATEST EDITION OF PROVINCIAL AND MUNICIPAL BUILDING CODES.
- 6. ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE LATEST EDITION OF PROVINCIAL BUILDING CODE.
- 7. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS AND SPECIFICATIONS.



FINISH MATERIAL LEGEND:

- 1. BRICK VENEER FINISH
- 2. NEW ENTRANCE DOOR IN ANODIZED ALUMINUM FRAME (NARROW STYLE)
- 3. NEW GLAZING IN ANODIZED ALUMINUM FRAME. ALL GLAZING TO BE TEMPERED. TYPICAL.
- 4. NEW BETA LED WALL PACK
- 5. NEW POSTER SIGN (MAC'S SUPPLIED)
- 6. CULTURED STONE - PROFIT LEDGESTONE COLOUR MOJAVE
- 7. PVC ARCHITECTURAL BRACKET
- 8. PREFINISH METAL PARAPET SIDINGS
- 9. PREFINISH METAL PARAPET CAP
- 10. PRECAST CONCRETE SILL
- 11. PREFINISH ANODIZED ALUMINUM PANEL CLADDING
- 12. PREFINISH METAL CAP FLASHING

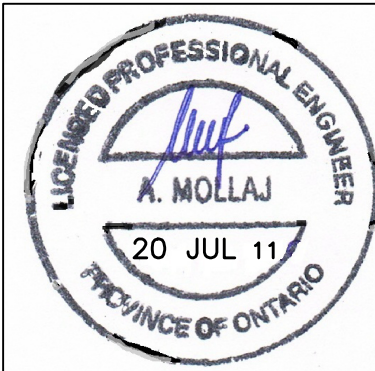
1 LEFT SIDE ELEVATION  
RA-6 SCALE 1:50



2 RIGHT SIDE ELEVATION  
RA-6 SCALE 1:50



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9					
8					
7					
6					
5					
4					
3					
2	20 JUL 11	ISSUED FOR BUILDING PERMIT		RGD	AM
1	05 OCT 10	ISSUED FOR CLIENT'S APPROVAL		RGD	AM
No.	DATE	REVISIONS		INITIAL	CHECKED



MAC'S CONVENIENCE STORES INC.

PROPOSED MAC'S GAS BAR  
33 HUNTER STREET  
PETERBOROUGH, ONTARIO

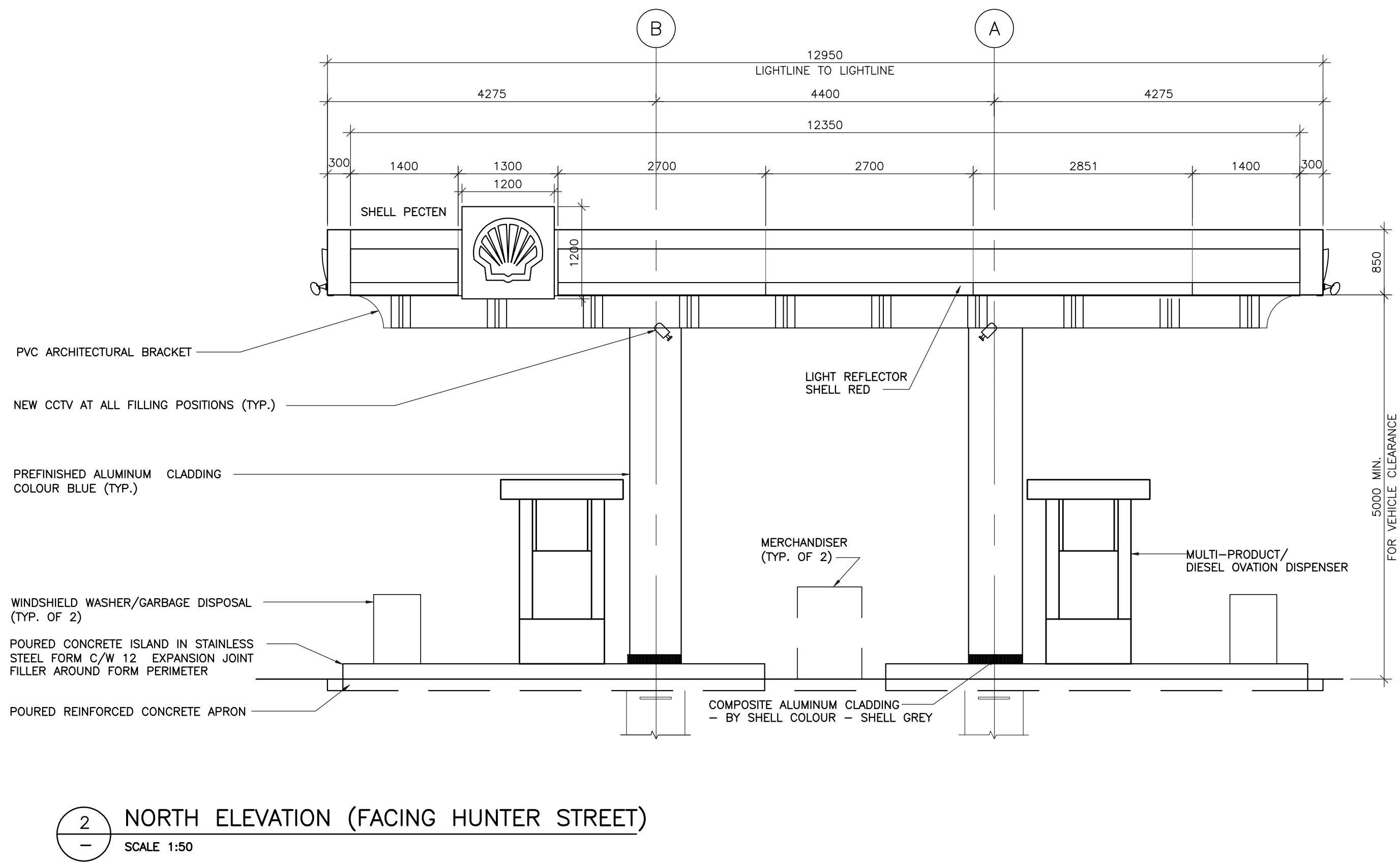
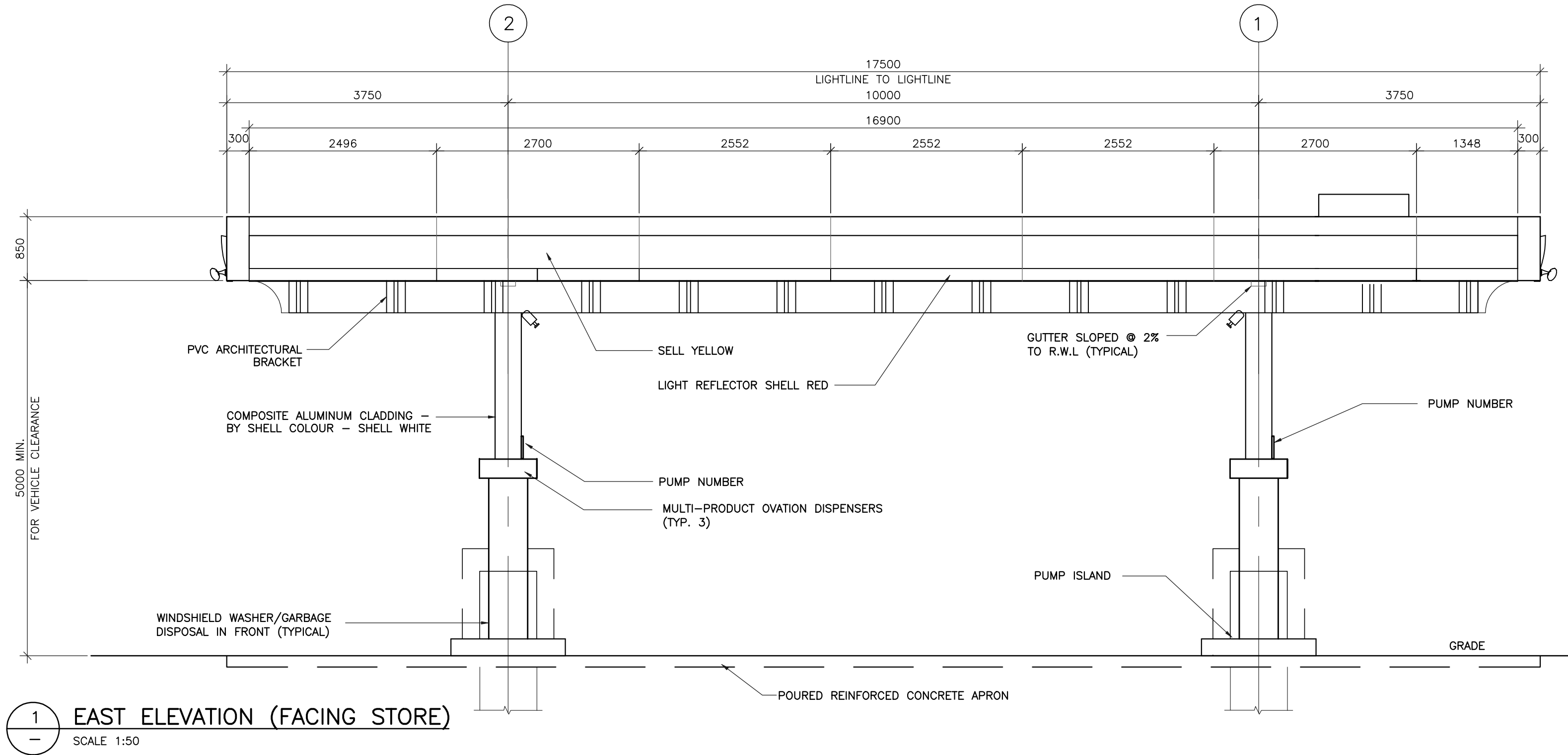
LEFT AND RIGHT SIDE ELEVATIONS

DESIGN:	AM	DWN BY:	RGD	CHECK:	AM
SCALE:	1:50	DWG. FILE	1024-RA-6	SHEET No.	6
DATE:	15 MAR 11	PROJ. No.	1024		

RA-6



- GENERAL NOTES
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
  2. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
  3. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION"
  4. DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
  5. ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE NATIONAL AND APPLICABLE PROVINCIAL BUILDING CODE. LATEST EDITION.
  6. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
  7. FOR ADDITIONAL NOTES AND SPECIFICATIONS REFER DRAWING: CS-1.
  8. RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
  9. A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE.
  10. ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER MUNICIPAL FIELD STAFF DIRECTION.



NOTE:  
STD. SHELL SIGN BOX  
TO BE SUPPLIED AND  
INSTALLED BY OTHERS

1 CANOPY ELEVATIONS  
1:50



9					
8					
7					
6					
5					
4	20 JUL 11	ISSUED FOR BUILDING PERMIT	MG	AM	
3	30 JUN 11	RE-ISSUED FOR SITE PLAN APPROVAL	RGD	AM	
2	10 JAN 11	REVISED AS PER CITY'S COMMENTS	RGD	AM	
1	06 OCT 10	ISSUED FOR APPROVAL	RGD	AM	
No.	DATE	REVISIONS	INITIAL	CHECKED	



PROPOSED MAC'S GAS BAR  
33 HUNTER STREET EAST,  
PETERBOROUGH, ONTARIO

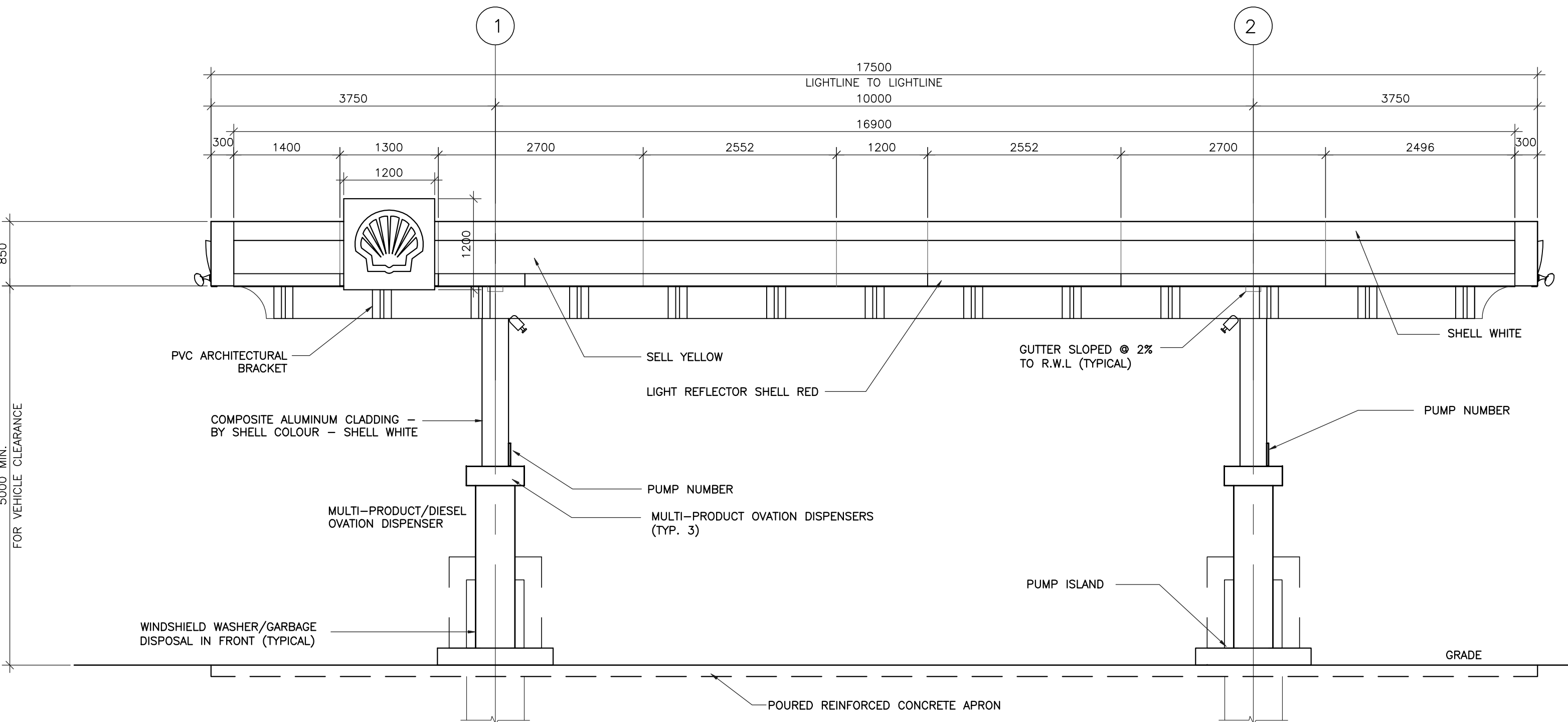
CANOPY ELEVATIONS					
DESIGN:	AM	DWN BY:	RGD	CHECK:	AM
SCALE:	AS SHOWN	DWG. FILE	1024-CA-2	SHEET No.	2 of 3
DATE:	06 OCT 10	PROJ. No.	1024		

CA-2

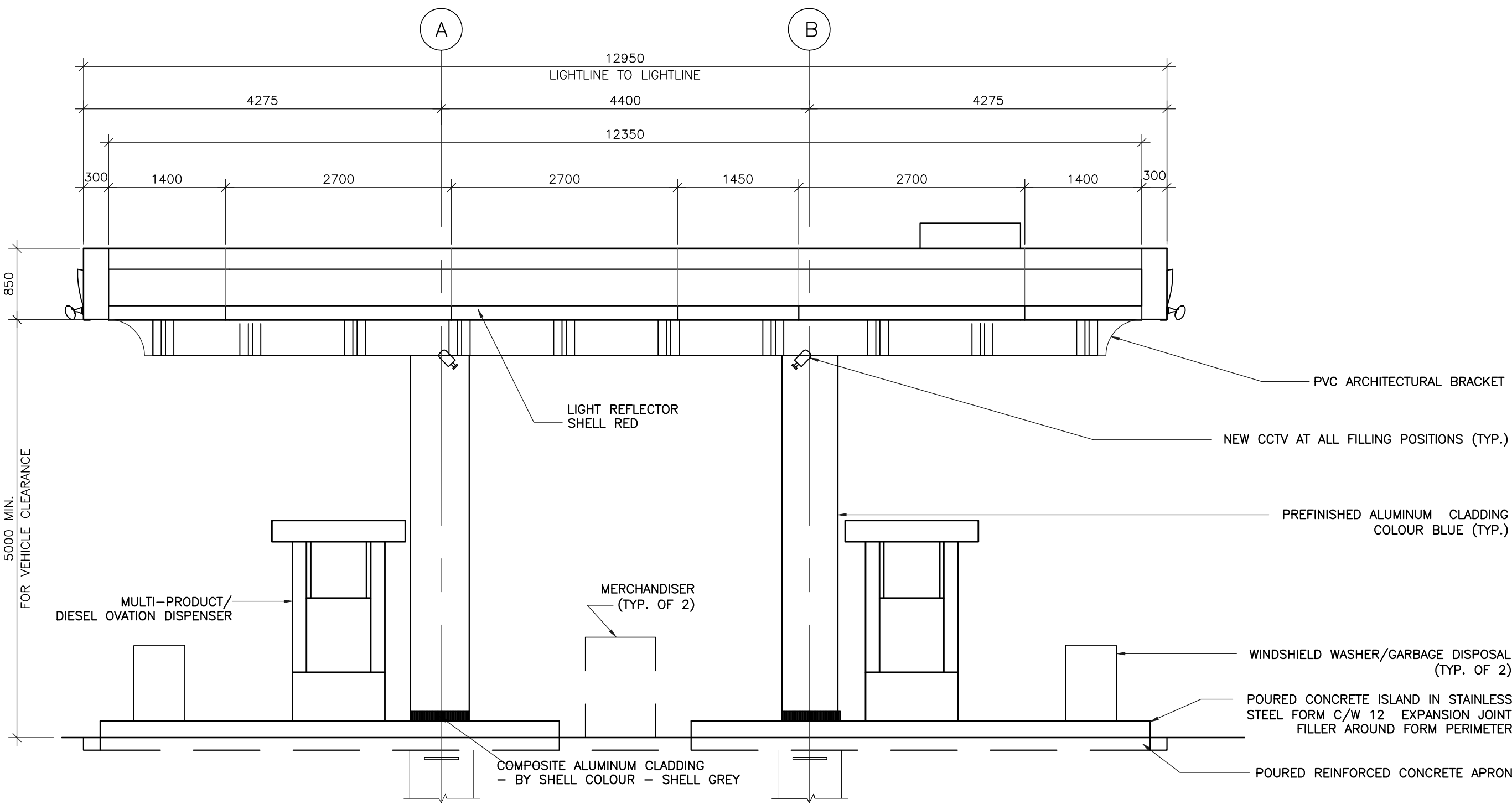


GENERAL NOTES

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1 WEST ELEVATION (FACING BURNHAM STREET)  
SCALE 1:50



2 SOUTH ELEVATION  
SCALE 1:50

1 CANOPY ELEVATIONS  
1:50



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9					
8					
7					
6					
5					
4	20 JUL 11	ISSUED FOR BUILDING PERMIT	MG	AM	
3	30 JUN 11	RE-ISSUED FOR SITE PLAN APPROVAL	RGD	AM	
2	10 JAN 11	REVISED AS PER CITY'S COMMENTS	RGD	AM	
1	06 OCT 10	ISSUED FOR APPROVAL	RGD	AM	
No.	DATE	REVISIONS	INITIAL	CHECKED	



MAC'S CONVENIENCE STORES INC.

PROPOSED MAC'S GAS BAR  
33 HUNTER STREET EAST,  
PETERBOROUGH, ONTARIO

CANOPY ELEVATIONS					
DESIGN:	AM	DWN BY:	RGD	CHECK:	AM
SCALE:	AS SHOWN	DWG. FILE	1024-CA-3	SHEET No.	3 of 3
DATE:	06 OCT 10	PROJ. No.	1024		

CA-3



THE CORPORATION OF THE CITY OF PETERBOROUGH

BY-LAW NUMBER 11- \_\_\_\_\_

**BEING A BY-LAW TO AMEND THE ZONING FOR 33 HUNTER  
STREET EAST**

THE CORPORATION OF THE CITY OF PETERBOROUGH BY THE COUNCIL  
THEREOF HEREBY ENACTS AS FOLLOWS:

1. Map 13 forming part of Schedule "A" to By-law 97-123 is amended by changing the area shown on the sketch attached hereto as Schedule "A" **from C.6 – 254 – "H' to C.6 – 254.**

By-law read a first, second and third time this \_\_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Daryl Bennett, Mayor

\_\_\_\_\_  
Nancy Wright-Laking, City Clerk

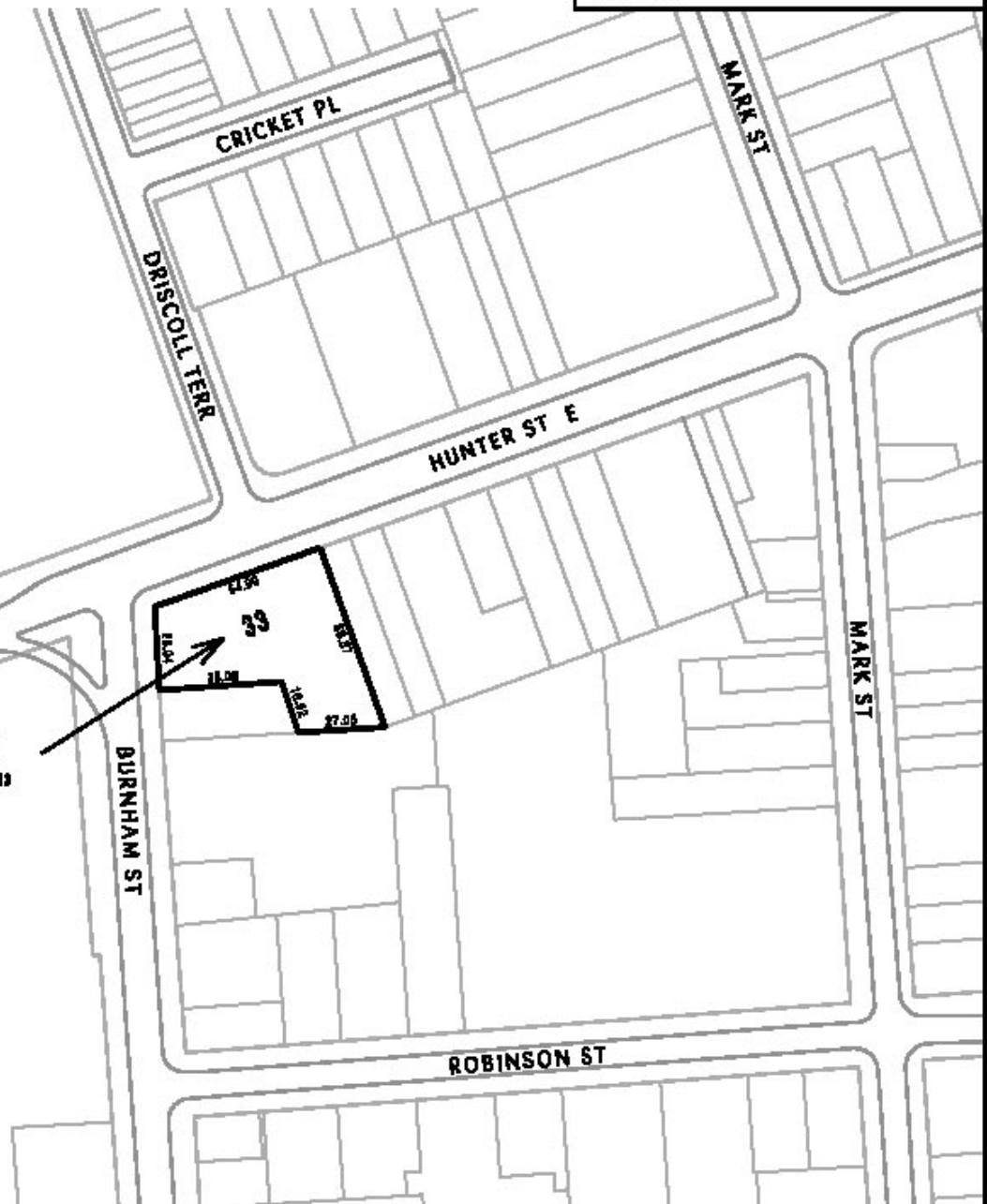


Dimensions are in metric



**SCHEDULE 'A' TO  
BYLAW 2010 -  
PASSED THE      DAY  
OF              2010  
MAYOR  
CLERK**

**Change from  
C.6 - 254 - "H"  
to C.6-254**



**City of  
Peterborough**

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**File: z1014**

**Scale: 1:2000**