

Land Use Map

File #

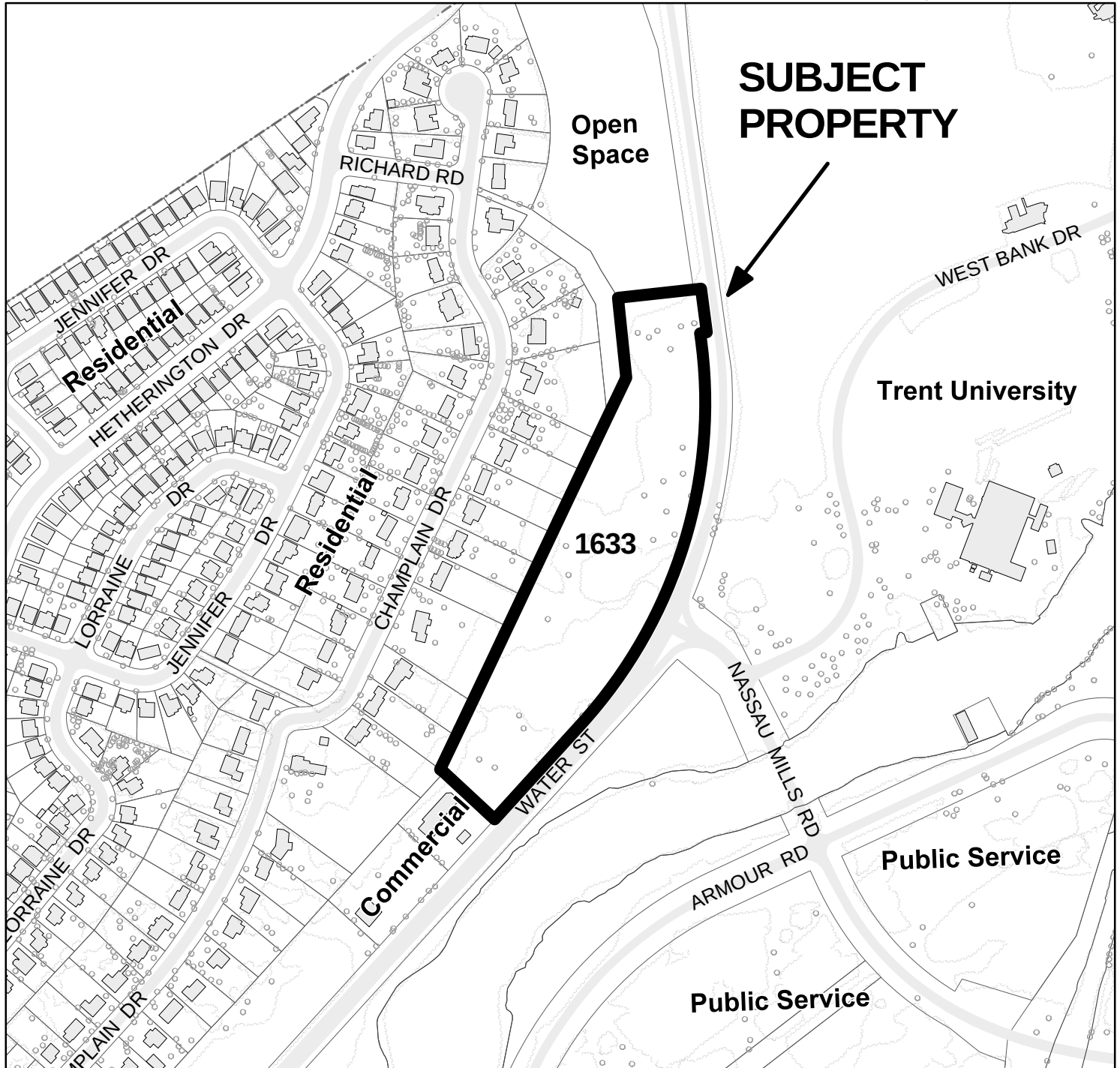
Property Location: 1633 Water Street

EXHIBIT

SHEET OF

Exhibit A

Page 1 of 1



The City of Peterborough Planning Division

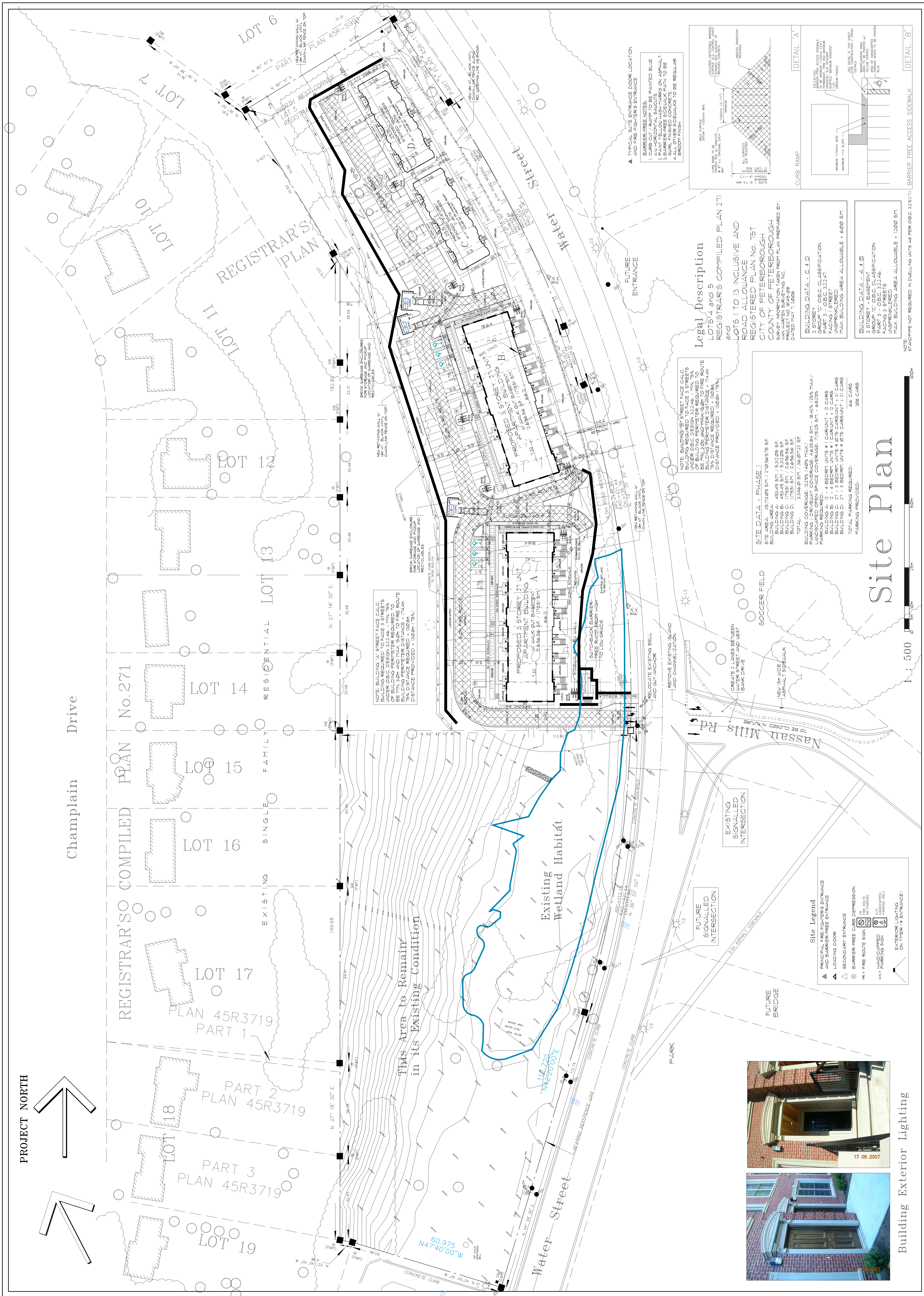
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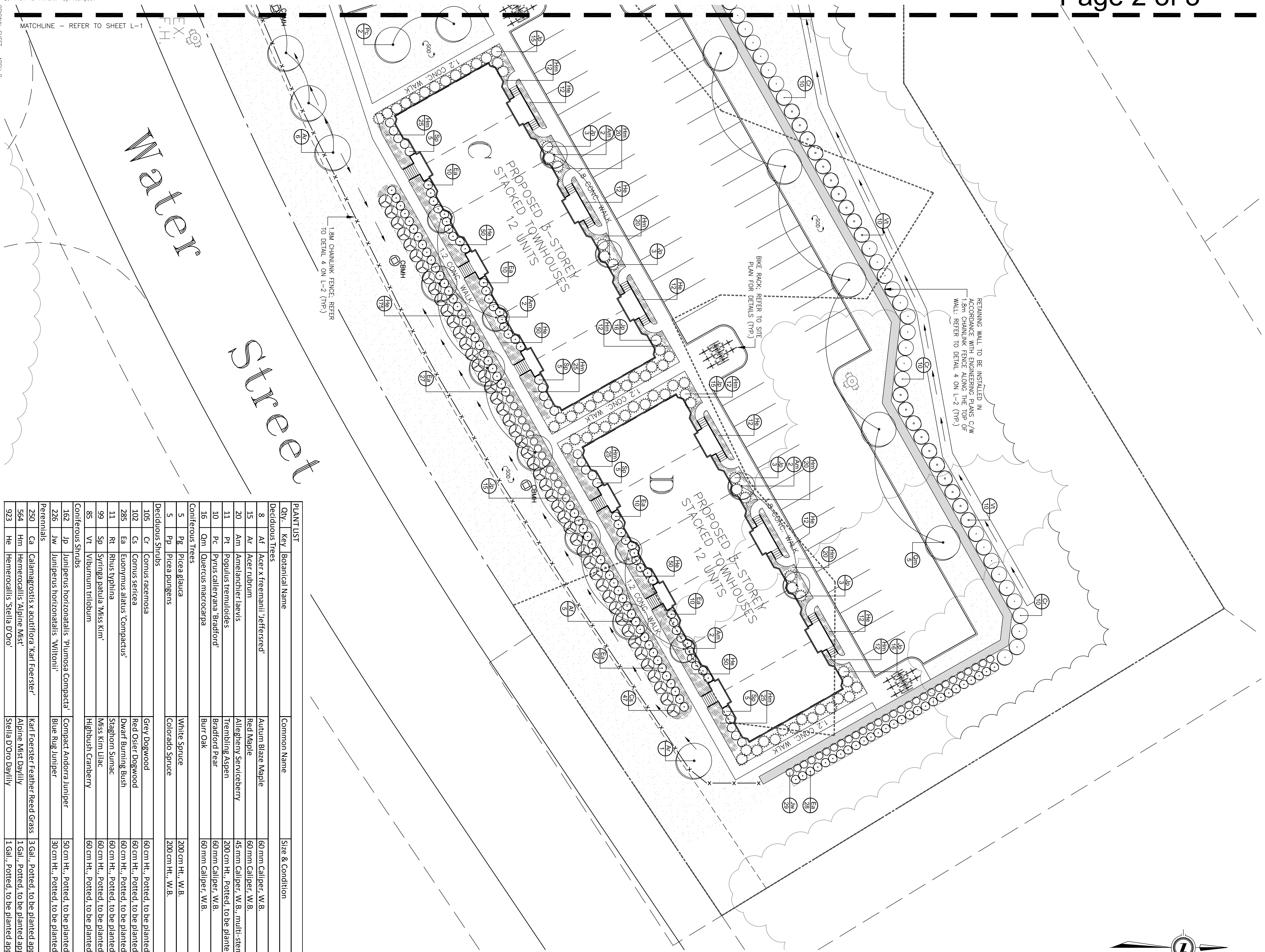


Date - June 2011

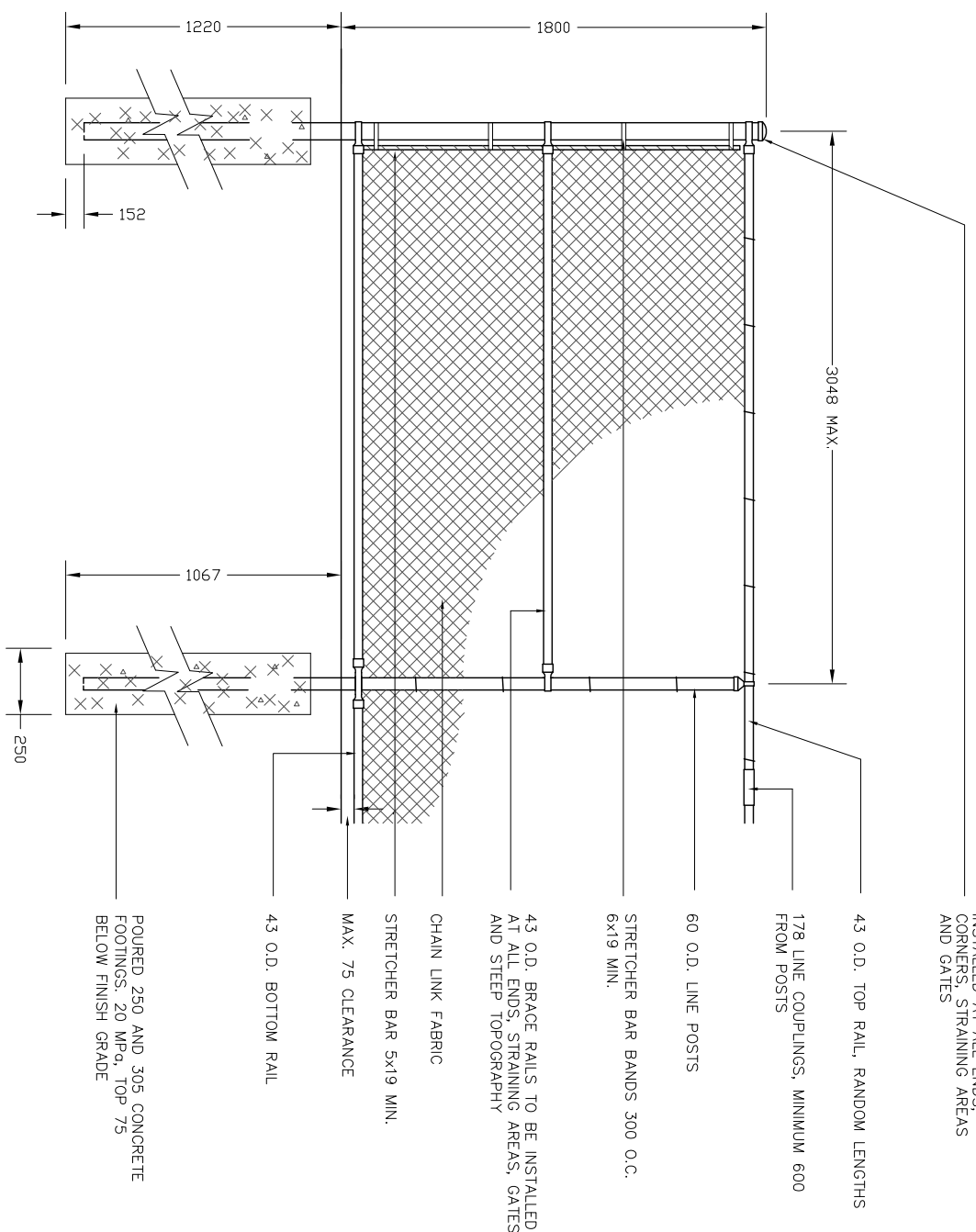
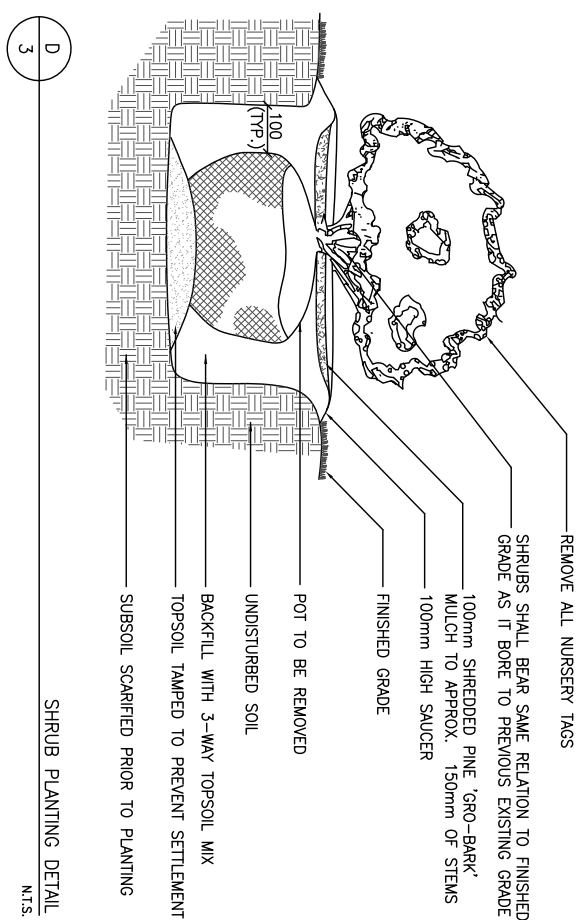
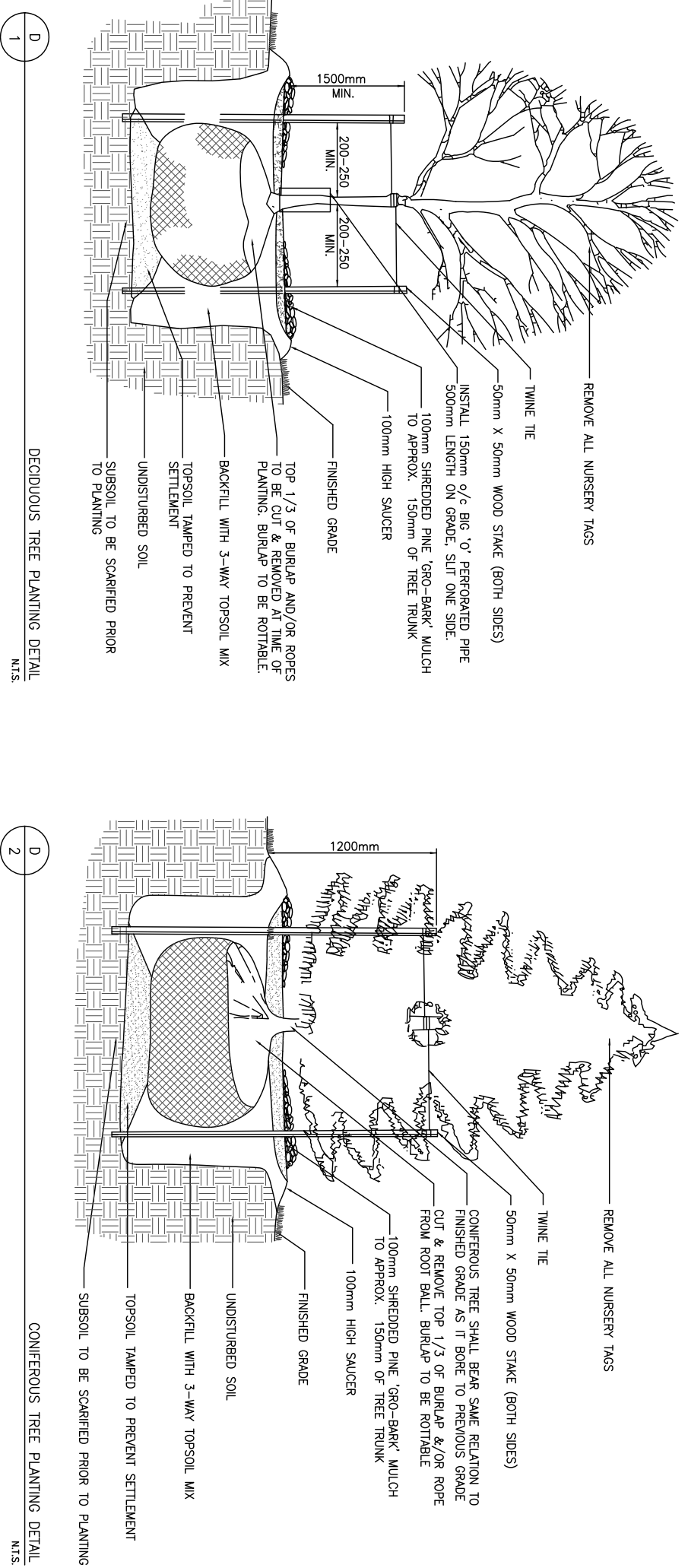
Dwg by - NSchleifer

Scale - 1: 5000





PLANT LIST		Common Name	Size & Condition
Oxy.	Key Botanical Name		
Deciduous Trees			
8	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	60 mm Caliper, W.B.
15	<i>Air</i> <i>Koerubidum</i>	Red Maple	60 mm Caliper, W.B.
20	<i>Am</i> <i>Amelanchier laevis</i>	Allegheny Serviceberry	45 mm Caliper, W.B., multi-stemmed
11	<i>Pc</i> <i>Populus tremuloides</i>	Trembling Aspen	200 cm Ht., Potted, to be planted approx. 3.0m O.C.
10	<i>Pc</i> <i>Quercus californiana</i> 'Bradford'	Bradford Pear	60 mm Caliper, W.B.
16	<i>Qm</i> <i>Quercus macrocarpa</i>	Burr Oak	60 mm Caliper, W.B.
Coniferous Trees			
5	<i>Pg</i> <i>Picea glauca</i>	White Spruce	200 cm Ht., W.B.
5	<i>Pp</i> <i>Picea pungens</i>	Colorado Spruce	200 cm Ht., W.B.
Deciduous Shrubs			
105	<i>Cr</i> <i>Cornus racemosa</i>	Grey Dogwood	60 cm Ht., Potted, to be planted approx. 1.5m O.C.
102	<i>Cs</i> <i>Cornus sericea</i>	Red Osier Dogwood	60 cm Ht., Potted, to be planted approx. 1.5m O.C.
285	<i>El</i> <i>Elaeagnus alatus</i> 'Compactus'	Dwarf Burning Bush	60 cm Ht., Potted, to be planted approx. 1.0m O.C.
11	<i>Rt</i> <i>Rhus typhina</i>	Strawberry Shrub	60 cm Ht., Potted, to be planted approx. 3.0m O.C.
99	<i>Sr</i> <i>Spiraea japonica</i> 'Miss Kim'	Miss Kim Lilac	60 cm Ht., Potted, to be planted approx. 1.0m O.C.
85	<i>Vt</i> <i>Viburnum plicatum</i>	Hickish Candyberry	60 cm Ht., Potted, to be planted approx. 1.0m O.C.
Coniferous Shrubs			
162	<i>Jp</i> <i>Juniperus horizontalis</i> 'Plumosa Compacta'	Compact Andorra Juniper	50 cm Ht., Potted, to be planted approx. 1.0m O.C.
226	<i>Jw</i> <i>Juniperus horizontalis</i> 'Willottii'	Blue Rug Juniper	30 cm Ht., Potted, to be planted approx. 1.0m O.C.
Perennials			
250	<i>Ca</i> <i>Campanastris x acutifolia</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	3.6m, Potted, to be planted approx. 0.9m O.C.
554	<i>Hm</i> <i>Hemerocallis</i> 'Alpine Mist'	Alpine Mist Daylily	1.6m, Potted, to be planted approx. 0.4m O.C.
92	<i>Hm</i> <i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily	1.6m, Potted, to be planted approx. 0.4m O.C.



- [illegible]



GENERAL LANDSCAPING NOTES

1. PLANTING SLOT MATERIAL FOR PLANTING BEDS TO BE APPROVED 3-WAY MAX. BINOMIAL SHALL BE ADDED AT THE RATE OF 500 GRAMS PER CUBIC METER OF PLANTING BEDS. FERTILIZER SHALL NOT EXCEED A DEPTH OF 3-INCH MAX. ALL CONSTRUCTION DETAILS AND NON ORGANIC FILLS TO BE REMOVED FROM PLANTING AREA.
 2. FERTILIZERS SHALL BE COMPLETE COMMERCIAL FERTILIZERS CONTAINING NOT LESS THAN SIXTY PERCENT (60%) NITRA PREGNANT REFERENCE BY WEIGHT. FERTILIZER SHALL BE ADDED TO PLANTING MIXTURE BASED ON RESULTS OF A TOPSOIL TEST, BUT IN NO CASE LESS THAN THE FOLLOWSIGNING STANDARD.
 3. MULCH SHALL BE SHREDDED PINE "ORO-BARK" MULCH. SAMPLE TO BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR INSPECTION PRIOR TO INSTALLATION.
 4. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT AND THE OWNER.
 5. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES, TO THE SATISFACTION OF THE APPLICABLE AGENCY.
 6. SITE LAYOUT IN ACCORDANCE WITH SITE PLAN PREPARED BY STANROD CONSULTING & DESIGN LTD.
 7. ALL PLANT MATERIALS IS TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE TO SURVIVE TO SITE. THIS DOES NOT LIMIT THE RIGHT OF THE LANDSCAPE ARCHITECT TO REQUEST THE MATERIAL DUE TO POOR QUALITY, DAMAGE DURING SHIPPING AND INSTALLATION, OR TO REWORKS ASSOCIATION.
 8. ALL PLANTINGS ARE TO BE LAID OUT ON SITE BY CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT. ANY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS REQUIRE PRIOR APPROVAL.
 9. PROPOSED WORKS ARE TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND THE SUBSTANTIAL COMPLETION IS TO BE GUARANTEED BY THE CONTRACTOR TO THE END OF THE WARRANTY PERIOD. PROVIDED THE WORKS ARE STILL IN SATISFACTORY CONDITION THE LANDSCAPE ARCHITECT SHALL RECOMMEND FINAL ACCEPTANCE.
10. INSTALL 150MM O.C. BIG "W" PERFORATED PIPE TREE GUARDS, 500MM LENGTH ON GRADE AND SIFT ON ONE SIDE, ON ALL TREES. ENSURE THAT THE BOTTOM 50MM OF FREE GROUND EXPAND BELOW THE TREE GUARDS.

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Consultants

- Legend**
- | | |
|-----|---------------------|
| --- | PROPERTY LINE |
| --- | SETBACK |
| ③ | PLANT KEY |
| | EXISTING VEGETATION |
| | PROPOSED TREE |
| | PROPOSED SHRUB |
| | PROPOSED PERENNIALS |
| | SOD |

Notes

[illegible]

Seal

Client/Project
RESIDENCE DEVELOPMENT CORP.

**TRENT UNIVERSITY STUDENT
RESIDENTIAL DEVELOPMENT PHASE 1**
Peterborough ON Canada

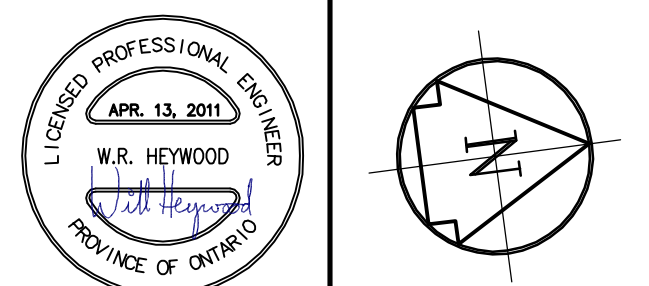
LANDSCAPE PLAN

Project No.	Scale
1614-01214	

B.M. 2 ELEV. 219.47m
TOP NUT OF FIRE HYDRANT LOCATED NORTH OF
S.I.B. IN NE CORNER OF PROPERTY..

	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED FENCELINE
	EXISTING FENCELINE
	PROPERTY LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	EXISTING GAS
	PROPOSED EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB
	EXISTING CURB
	EXISTING SWALE/DITCH
	EXISTING OVERHEAD UTILITY
	EXISTING UNDERGROUND UTILITY
	PROPOSED SILT FENCE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED CATCH BASIN MANHOLE
	EXISTING CATCH BASIN MANHOLE
	PROPOSED STORM MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED WATER VALVE
	EXISTING WATER VALVE
	EXISTING LIGHT STANDARD
	EXISTING HYDRO POLE/BEEL POLE
	EXISTING HOLE/PEDESTAL
	EXISTING ANCHOR
	BENCHMARK
	SIGN
	EXISTING ELEVATION
	TYPICAL ILLUSTRATION FOR REMOVAL
	TYPICAL ILLUSTRATION FOR REMOVAL
	PROPOSED CONCRETE

5	APRIL 13/11		ISSUED FOR SPA 4th SUB
4	DEC. 06/10		ISSUED FOR SPA 3rd SUB
3	JULY 5/10		ISSUED FOR SPA 2nd SUB
2	APRIL 28/09		REVISED SITE PLAN
1	JULY 18/08		ISSUED FOR SPA 1st SUB
no.	date	by	
revision			



consultant

WILLS

D.M. Wills Associates Limited
Consulting Engineers

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Peterborough Ontario F 705-741-3566
Canada K9J 2W3 E wills@dmwills.com

dmwills.com

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project title

**TRENT UNIVERSITY
HOUSING
DEVELOPMENT**

sheet title

**PETERBOROUGH
ONTARIO**

**EROSION CONTROL
PLAN AND
REMOVALS**

cod file		10165SS01	
drawn	J.P.M./M.P.S.	date	APRIL 13, 2011
designed	M.W./J.D.F.	scale	1:300
checked	R.H.	plot date	APRIL 13, 2011
project no.	08-10165	sheet no.	SS01

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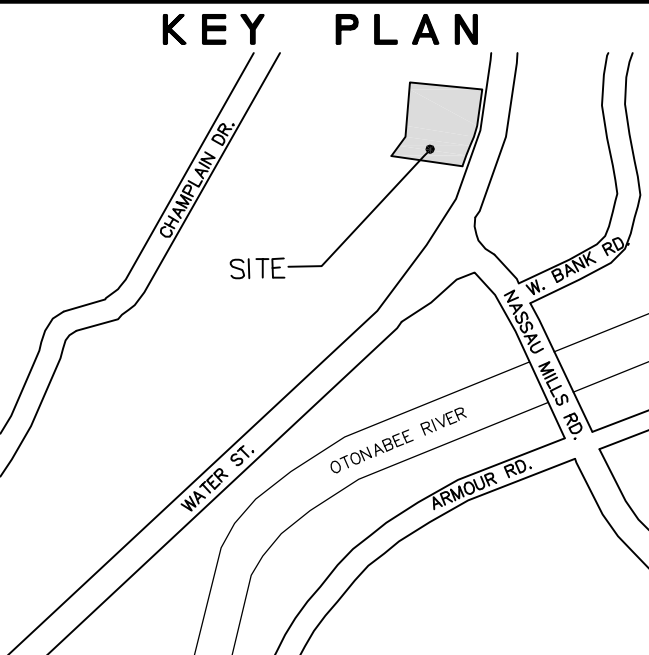
NOTES:

1. ALL COSTS IN RELATION TO THE RESTORATION OF THE RIGHT OF WAY SHALL BE THAT OF THE APPLICANT.
2. RESPECTING ALL WORK WITHIN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
3. THE CONTRACTOR MUST OBTAIN A ROAD OCCUPANCY AND/OR CUT PERMIT FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE.
4. ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED UNDER CITY OF PETERBOROUGH FIELD STAFF DIRECTION.

EROSION AND SEDIMENT CONTROL NOTES:

THE FOLLOWING MEASURES WILL BE COMPLETED IN THE ORDER LISTED:

- INSTALL A LIGHT DUTY SILT FENCE BARRIER ALONG THE EAST AND SOUTH PROPERTY LIMIT
INSTALL A MUD MAT AT THE PROPOSED CONSTRUCTION ENTRANCE TO PREVENT EROSION AND STOCKPILE AVOID FROM DRAINAGE SWALES AND SURROUND STOCKPILES WITH TEMPORARY SILT FENCE MAINTAIN SILT FENCES AS REQUIRED
INSTALL STRAW BALE FLOW CHECKS IN THE DRAINAGE SWALES TO PREVENT EROSION AND TO HOLD ASH IN PROPOSED CATCH BASIN STRUCTURES ONCE STORM SEWER IS CONSTRUCTED
REMOVE SILT FENCES, CATCH BASIN FILTERS, MUDMAT AND STRAW BALE FLOW CHECKS ONCE CONSTRUCTION IS COMPLETE, AND VEGETATION IS RE-ESTABLISHED IN THE DIRECTION OF THE ENGINEER (D.M. WILLS ASSOCIATES LTD.)

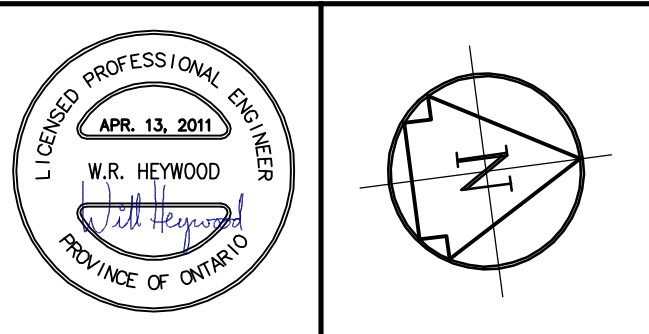


B.M. 1 ELEV. 215.05m
TOP HUT OF FIRE HYDRANT LOCATED ON EAST
SIDE OF WATER ST., NE OF NASSAU MILLS RD.
AND WATER STREET INTERSECTION.

B.M. 2 ELEV. 219.47m
TOP HUT OF FIRE HYDRANT LOCATED NORTH OF
S.I.B. IN NE CORNER OF PROPERTY.

LEGEND	TO BE READ IN CONJUNCTION WITH OFSD 100 SERIES
	PROPOSED BUILDING
	EXISTING BUILDING
	EXISTING FENCELINE
	PROPOSED FENCELINE
	PROPERTY LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	PROPOSED GAS
	EXISTING GAS
	PROPOSED EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB
	EXISTING CURB
	PROPOSED DITCH
	EXISTING DITCH
	PROPOSED OVERHEAD UTILITY
	EXISTING OVERHEAD UTILITY
	PROPOSED SUBDRAIN
	PROPOSED SILT FENCE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED STORM MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED WATER VALVE
	EXISTING WATER VALVE
	PROPOSED LIGHT STANDARD
	EXISTING LIGHT STANDARD
	PROPOSED HYDRO POLE/BELL POLE
	EXISTING HYDRO POLE/BELL POLE
	PROPOSED BELL PEDESTAL
	EXISTING BELL PEDESTAL
	PROPOSED ANCHOR
	EXISTING ANCHOR
	PROPOSED BENCHMARK
	EXISTING BENCHMARK
	PROPOSED ELEVATION
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED CONCRETE
	100 YEAR PONDING LIMIT
	PROPOSED OVERLAND FLOW ROUTE
	WETLAND BOUNDARY

no.	date	by
5	APRIL 13/11	ISSUED FOR SPA 4th SUB
4	DEC. 6/10	ISSUED FOR SPA 3rd SUB
3	JULY 5/10	ISSUED FOR SPA 2nd SUB
2	APRIL 28/09	REVISED SITE PLAN
1	JULY 18/08	ISSUED FOR SPA 1st SUB
no.	date	by



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project title
**TRENT UNIVERSITY
HOUSING
DEVELOPMENT**

sheet title
**PETERBOROUGH
ONTARIO**

GRADING PLAN

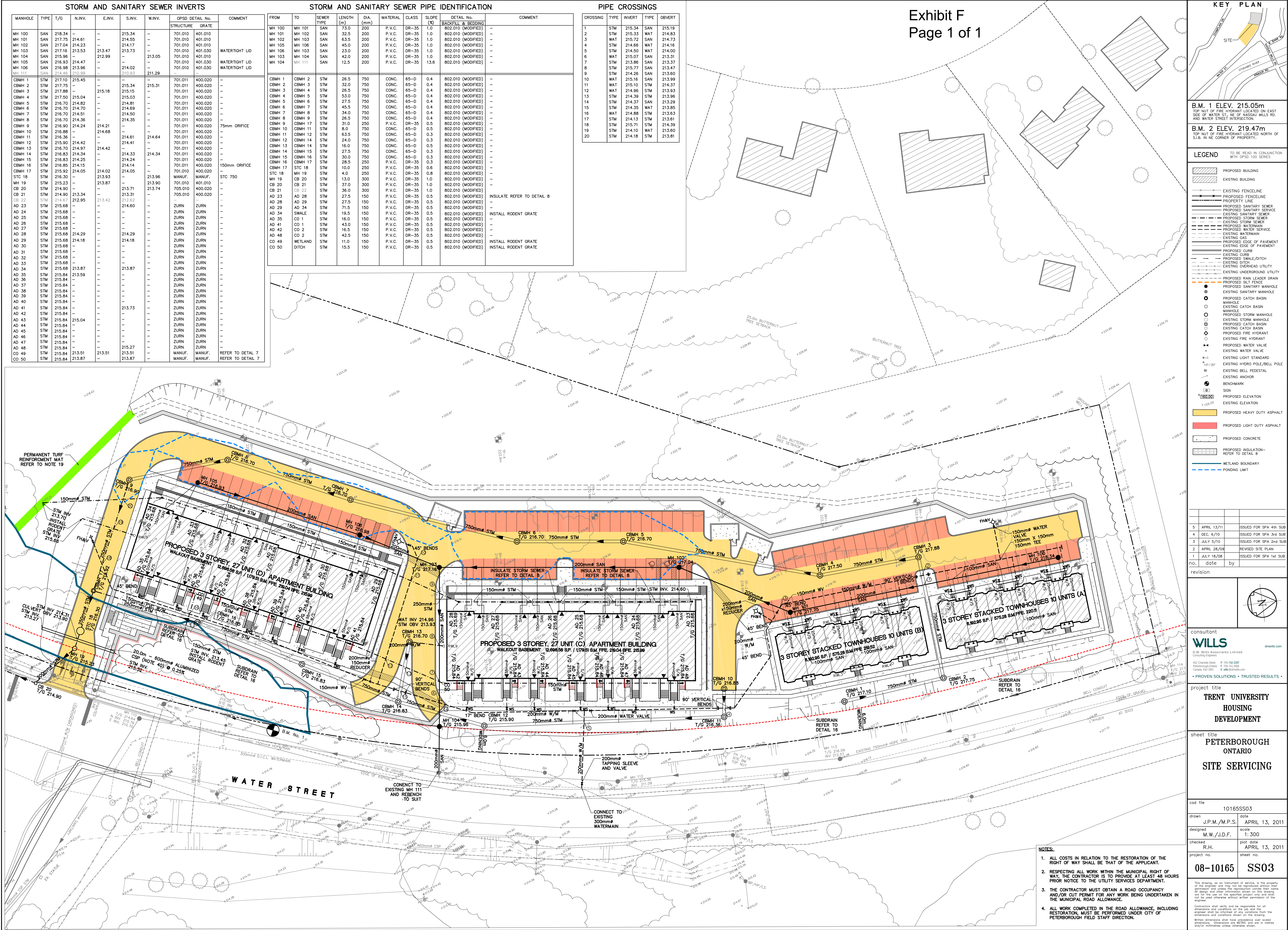
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drawn	J.P.M./M.P.S.
date	APRIL 13, 2011
designed	M.W./J.D.F.
scale	1:300
checked	R.H.
plot date	APRIL 13, 2011
project no.	08-10165
sheet no.	SS02

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APR. 17/11	PERMITTED EX. GRADES	M.S.	1
date	item	by	Δ

RESIDENCE DEVELOPMENT CORP.
5405 Eglinton Avenue West, Suite 214
Toronto, Ontario M9C 5K6
ATTENTION: Mr. Ray Stanton (416) 595-1070

SANDOR CONSULTING & DESIGN LTD

625 EMBURY STREET EAST • LONDON • ONTARIO • N6C 2G6
DAY (519) 850 0000 FAX (519) 850 0000

NEWSON STUDENT

TRENT UNIVERSITY

JUSTICE E. F.

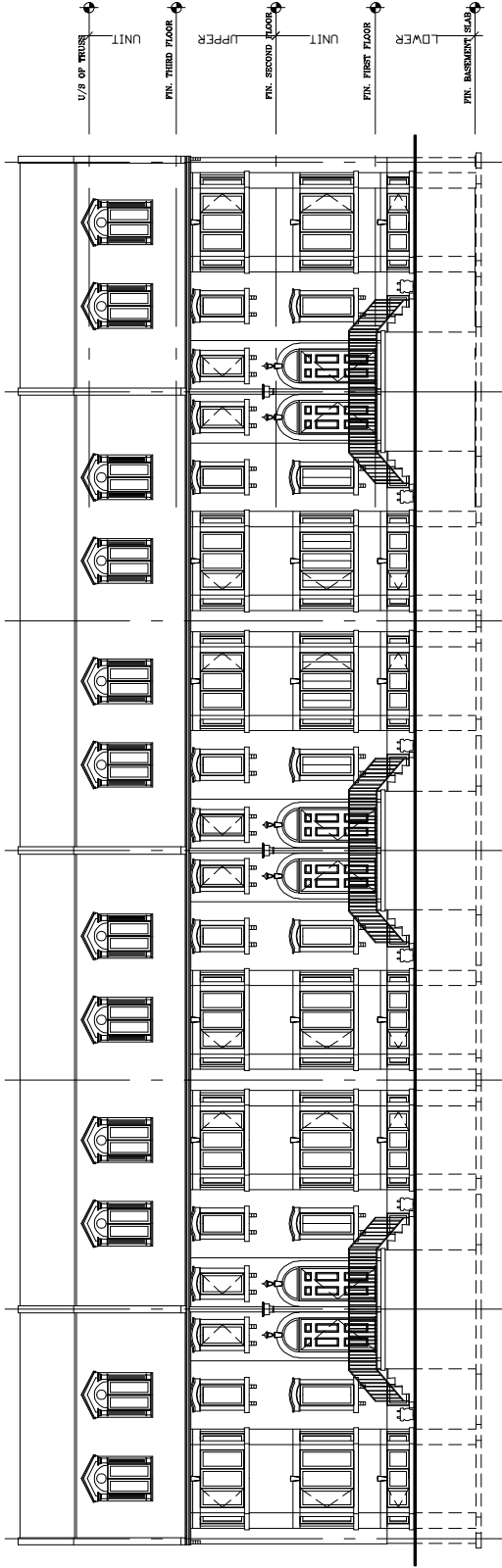
NOTES ON CONTRIBUTORS

DATE: 4/23 / 2011 DRAWN: M G

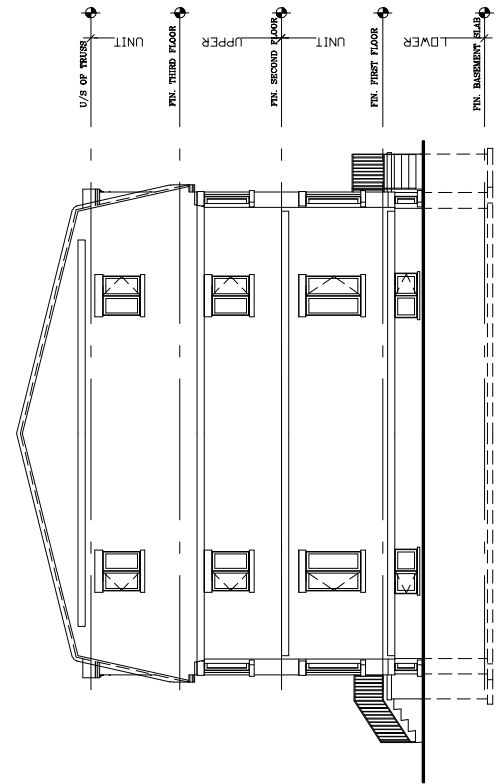
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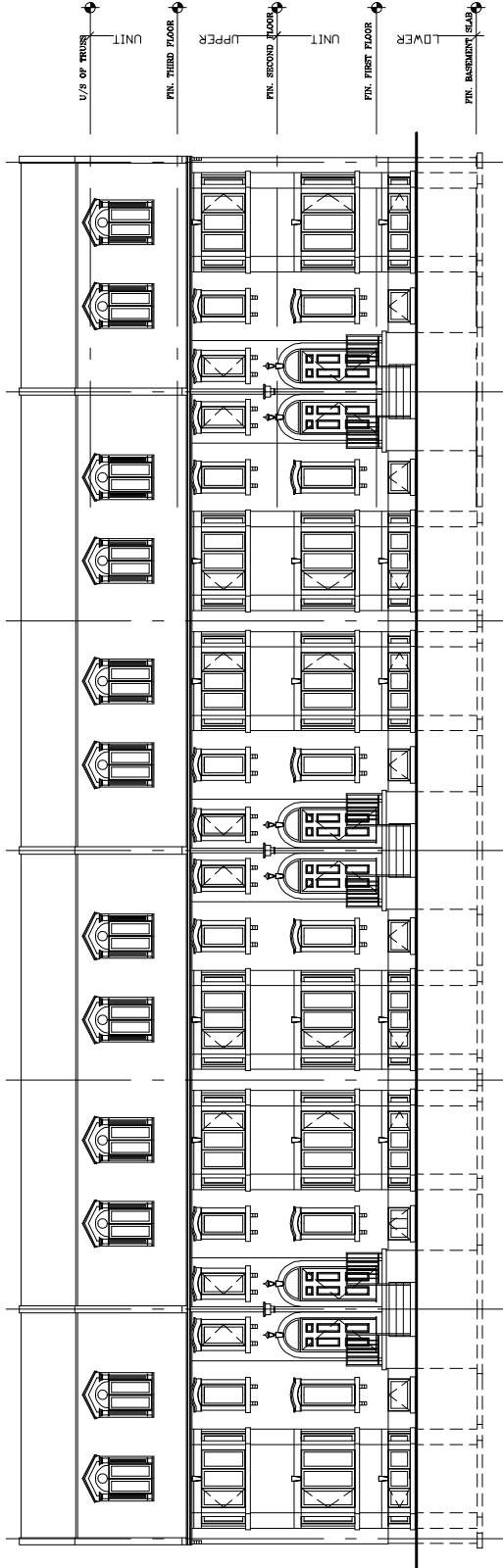
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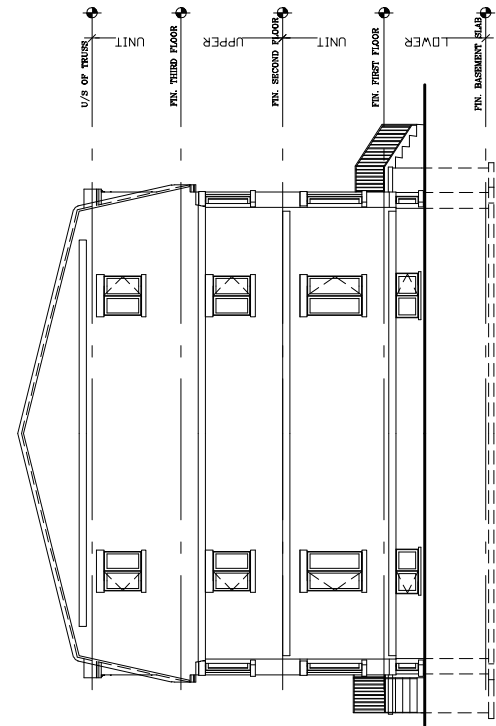
Front Elevation



Left Side



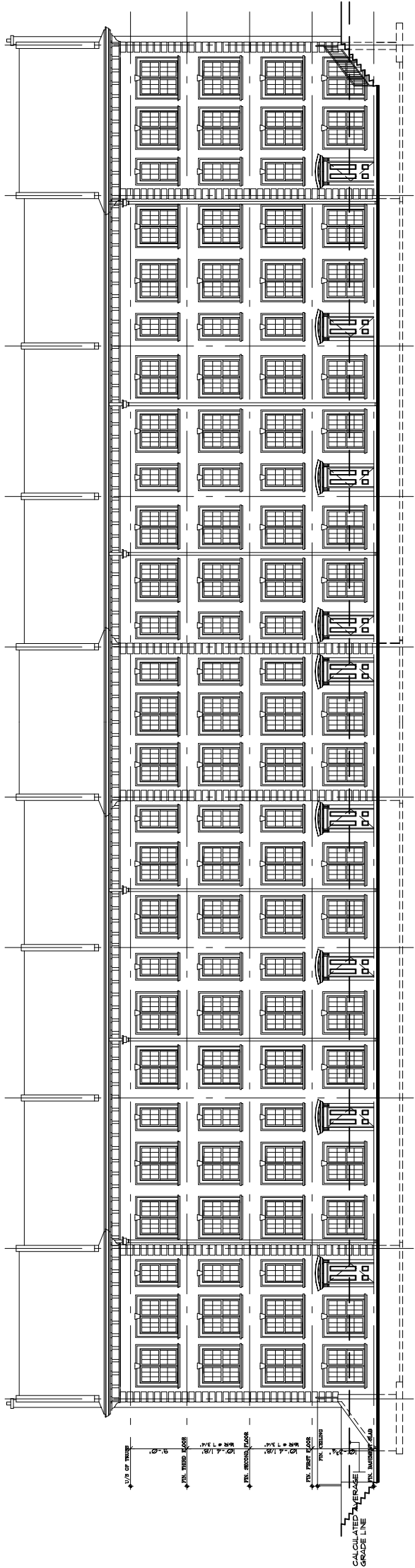
Rear Elevation



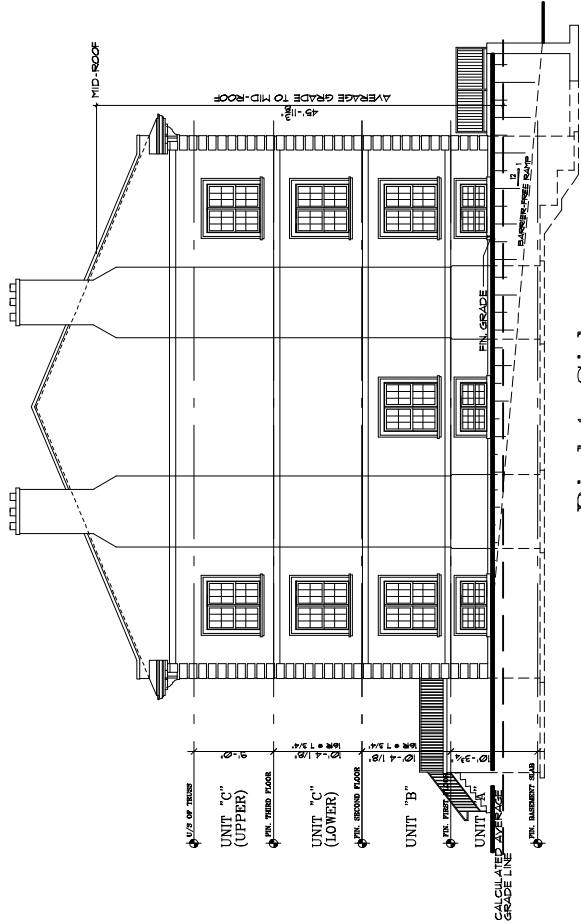
Right Side



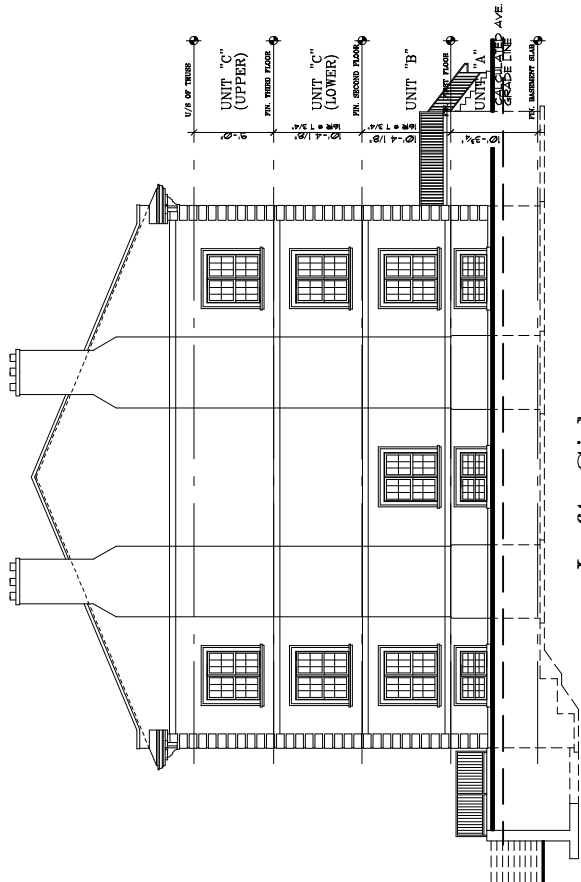
Front Elevation



Rear Elevation



Right Side



Left Side

Proposed Apartment Buildings C and D