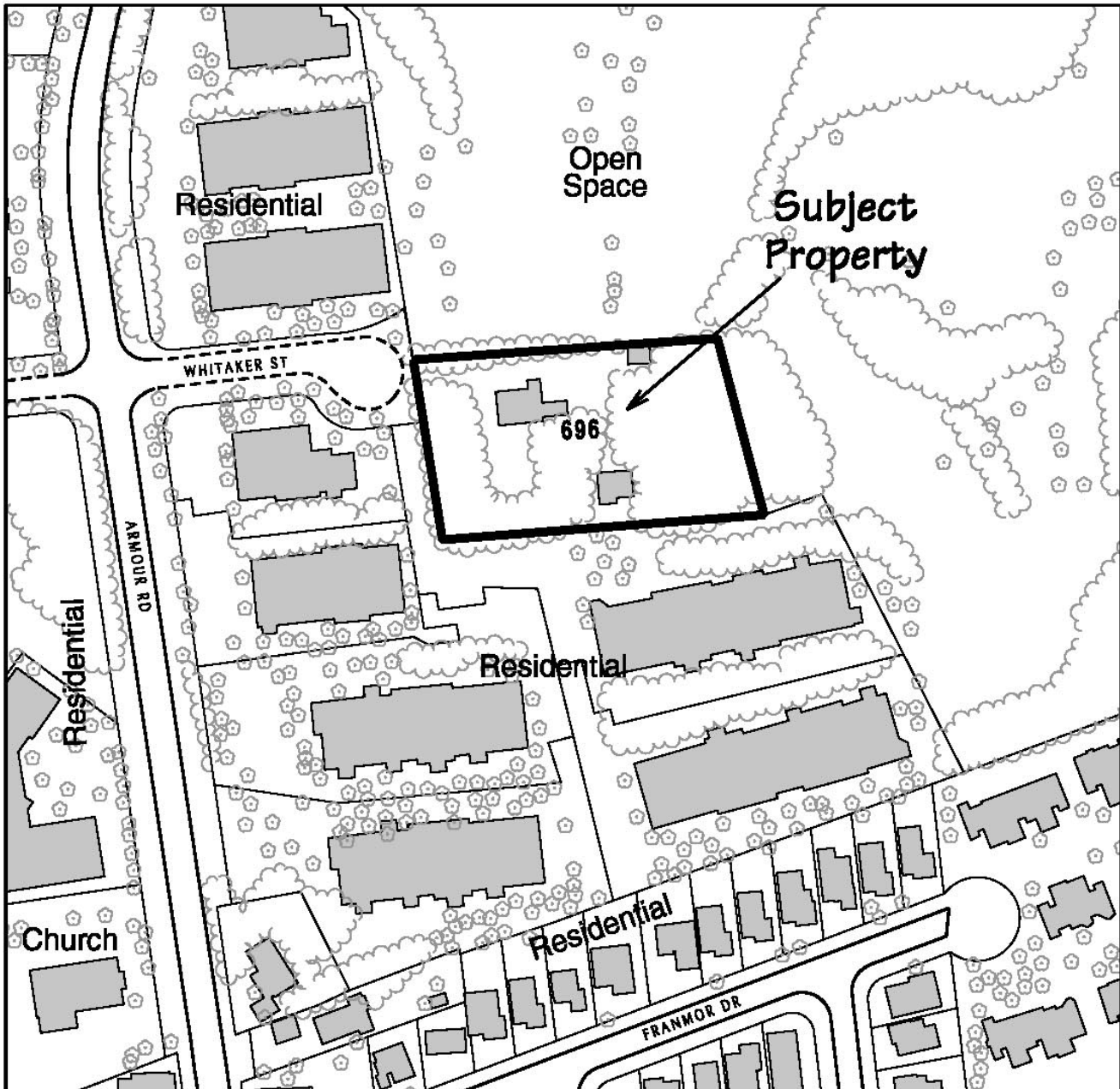


Land Use Map

File # z0920

Property Location: 696 Whitaker St

EXHIBIT
SHEET OF



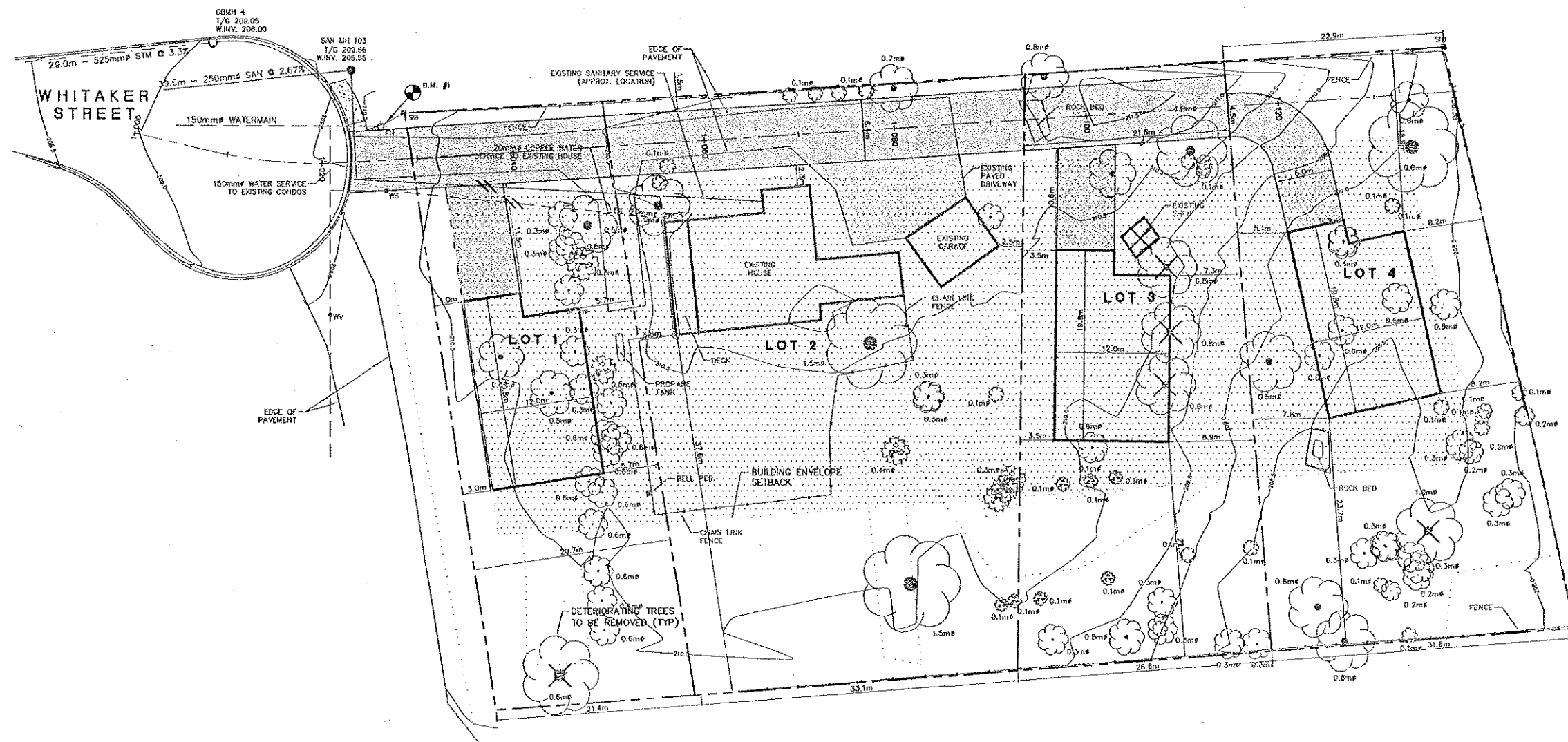
The City of Peterborough Planning Division

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Date - January 2009
Dwg. by - CBerry
Scale - 1:2000

BUILDING SETBACK SCHEDULE	
LOTLINE	SETBACK
NORTH (FRONT)	9m (29.5ft)
EAST (SIDE)	6m (19.7ft)
SOUTH (BACK)	18m (59.0ft)
WEST (SIDE)	3m (9.8ft)



Revisions		
No.	Description	Date
6.	ISSUED FOR SPA - 2nd SUB.	SEPT. 2/09
5.	ISSUED FOR SPA	JUNE 19/09
4.	ISSUED FOR CLIENT REVIEW	MAY 15/09
3.	ISSUED FOR RE-ZONING	DEC. 12/08
2.	REVISED AS PER CLIENT'S COMMENTS	NOV. 13/08
1.	ISSUED FOR CLIENT REVIEW	OCT. 21/08

LEGEND		TO BE READ IN CONJUNCTION WITH OPSS 100 SERIES
		PROPOSED LIGHT DUTY ASPHALT
		PROPOSED BUILDING
		EXISTING BUILDING
		PROPOSED EDGE OF PAVEMENT
		EXISTING EDGE OF PAVEMENT
		PROPOSED CURB
		EXISTING CURB
		PROPERTY LINE
		EXISTING SANITARY MANHOLE
		EXISTING CATCH BASIN MANHOLE
		EXISTING STORM MANHOLE
		EXISTING CATCH BASIN
		EXISTING FIRE HYDRANT
		EXISTING WATER VALVE
		EXISTING LIGHT STANDARD
		EXISTING HYDRO POLE
		EXISTING ELEVATION
		BUILDING ENVELOPE SETBACK
		PROPOSED REMOVALS

Company	BCIN
D.M. Wills Associates Limited	28900
Engineer	BCIN
Bruce Bonner, P.Eng.	21885
Designer	BCIN
Joe Fleming, C.E.T.	22385

WILLS www.DJWills.com

D.J. Wills Associates Limited
Equal Opportunity

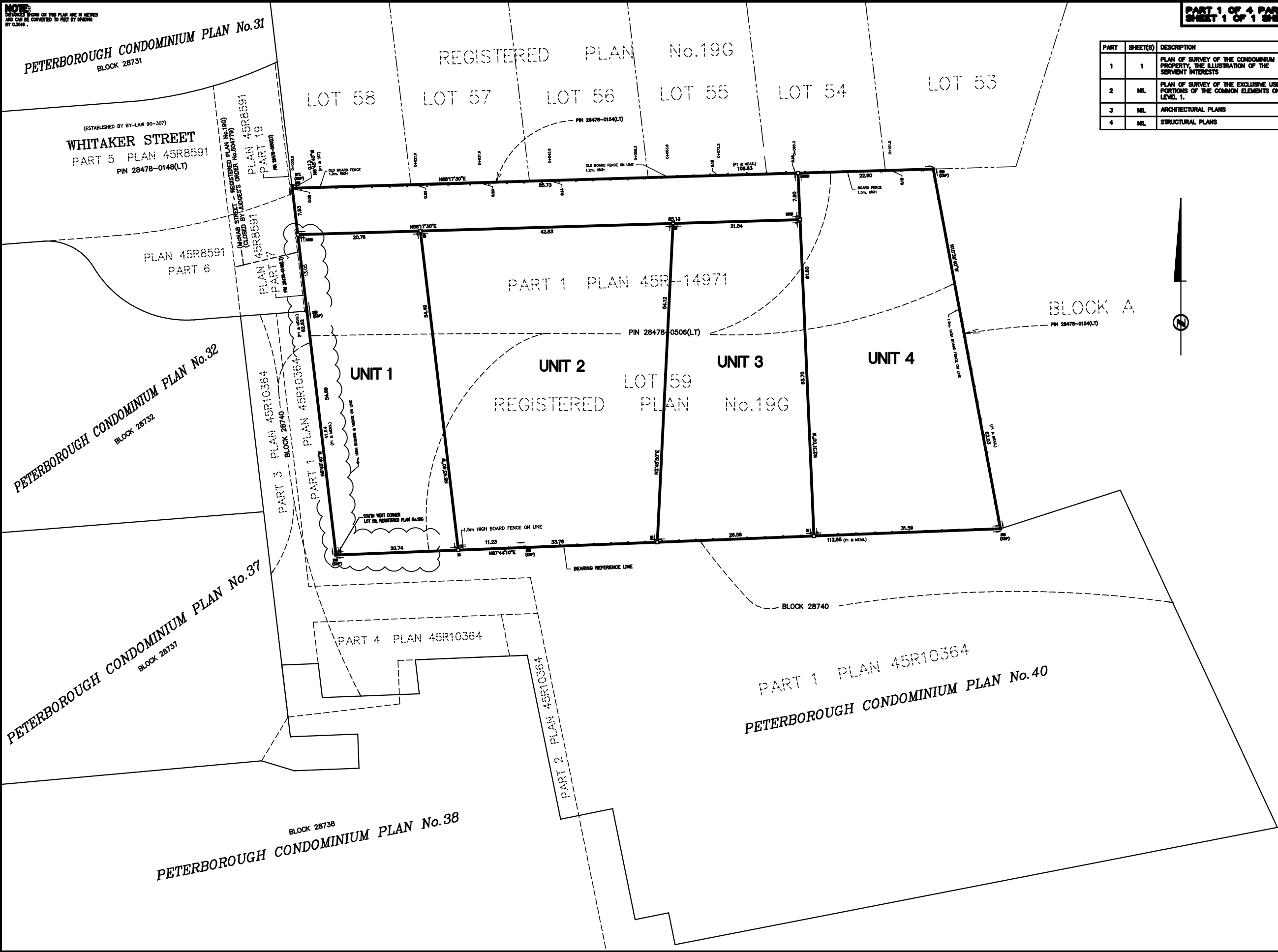
3030 Carleton Place • P.O. Box 743 2881
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Project Name/Location
696 WHITAKER STREET
PETERBOROUGH, ON.

Drawing Title
PROPOSED SITE PLAN

Drawn By J.D.S.	Score
Designed By C.W./J.D.F.	Waz. 1:250 Vert
Checked By J.D.F./B.T.B.	Plot Date JULY 19, 2009
Project No. DB-10189	Drawing File No. 10189SS01 Sht. No. 01



PART 1 OF 4 PARTS
SHEET 1 OF 1 SHEET

PETERBOROUGH VACANT LAND
CONDOMINIUM PLAN No.

PART	SHEET(S)	DESCRIPTION
1	1	PLAN OF SURVEY OF THE CONDOMINIUM PROPERTY, THE ILLUSTRATION OF THE SERVIENT INTERESTS
2	NIL	PLAN OF SURVEY OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS ON LEVEL 1.
3	NIL	ARCHITECTURAL PLANS
4	NIL	STRUCTURAL PLANS

LEVEL 1
UNITS 1 TO 4 INCLUSIVE
REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PETERBOROUGH (No.45) AT ___ O'CLOCK ON THE ___ DAY OF _____, 2010

LAND REGISTRAR

SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 11th. DAY OF APRIL, 2010

11 MAY, 2010

CHRISTOPHER E. MUSCLOW
Ontario Land Surveyor

DECLARATION REGISTERED AS No.

THIS PLAN COMPRISES ALL OF PIN 28478-0506(LT)

SCHEDULE OF APPURTENANT AND SERVIENT INTERESTS (UNDER CLAUSES 157 (1), (2) AND (3) OF THE ACT, IN THE CASE OF A VACANT LAND CONDOMINIUM CORPORATION)

SUBJECT TO:	PART	PLAN	DESCRIBED IN	NOTES
TOGETHER WITH:				


PLAN OF SURVEY OF
LOT 59, REGISTERED PLAN No.19G
FORMERLY TOWNSHIP OF DOURO, NOW IN
CITY OF PETERBOROUGH
COUNTY OF PETERBOROUGH
SCALE: 1 : 250
ELLIOTT AND PARR (PETERBOROUGH) LTD.
2010

LEGEND AND NOTES:
BEARINGS ARE ASTRONOMIC, DERIVED FROM THE NORTHERLY LIMIT OF PETERBOROUGH CONDOMINIUM PLAN No.40 HAVING A BEARING OF N87°44'10"E
--- DENOTES BOUNDARIES OF THE UNITS AND THE COMMON ELEMENTS
(EAP) - DENOTES ELLIOTT AND PARR, O.L.S.
(712) - DENOTES G. W. ELLIOTT, O.L.S.
(PAP) - DENOTES PIERCE AND PIERCE, O.L.S.
WT. - DENOTES WITNESS
PI - DENOTES PLAN 40R-14971

CERTIFICATE OF DECLARANT
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS.

DATE _____ JANET PATRICIA MORTLOCK

DATE _____ PATRICIA ANN GURHAN



ELLIOTT AND PARR
(PETERBOROUGH) LTD.
ONTARIO LAND SURVEYORS
P.O. BOX 1116 211 SHERBROOKE ST.
PETERBOROUGH, ONTARIO
K9J 7H4 (705) 745-5444

DRAWN BY: R.M. FILE:7086 JOB:28389