

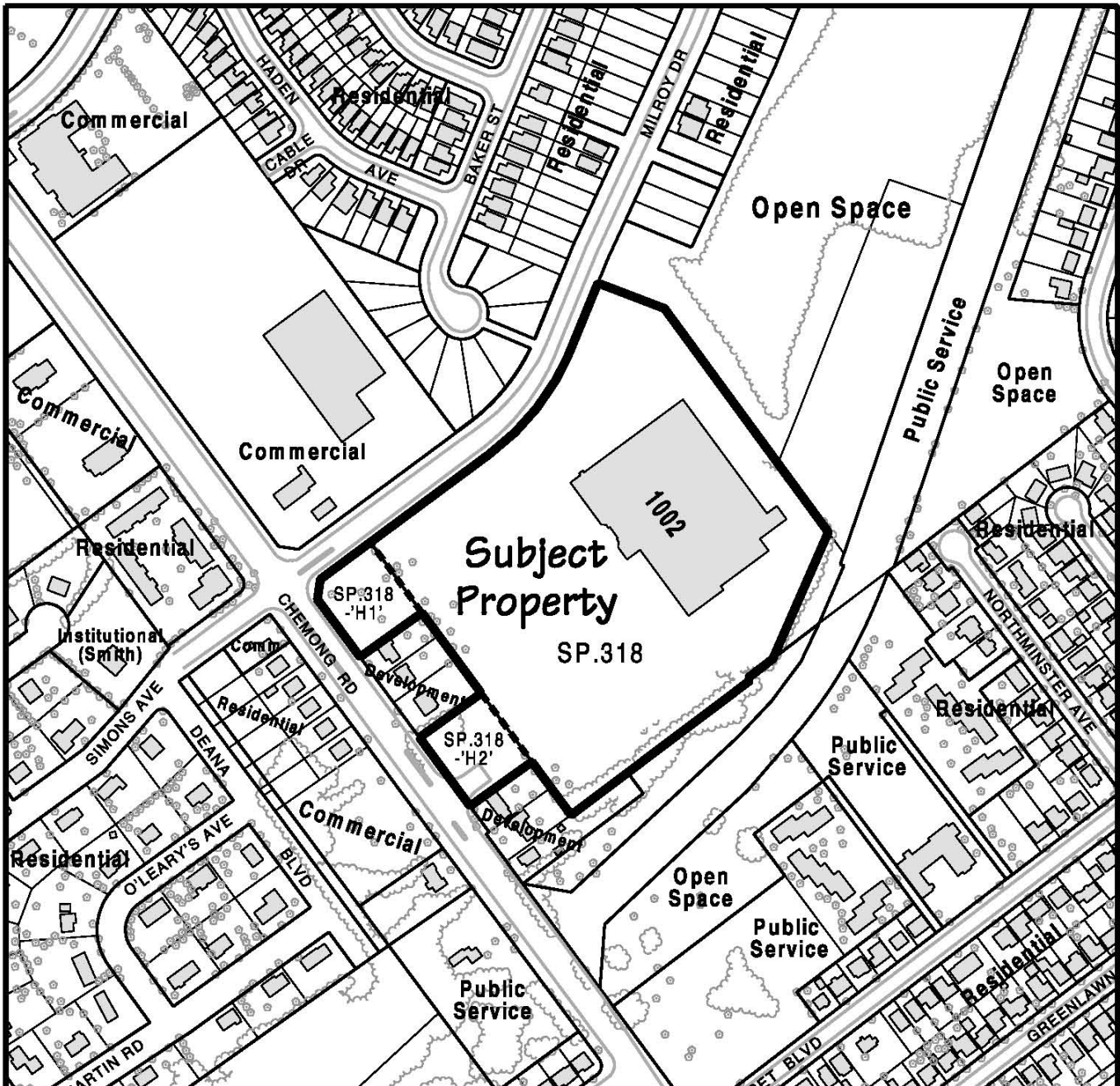
Land Use Map

File # Z0908

Property Location: 1002 Chemong Rd



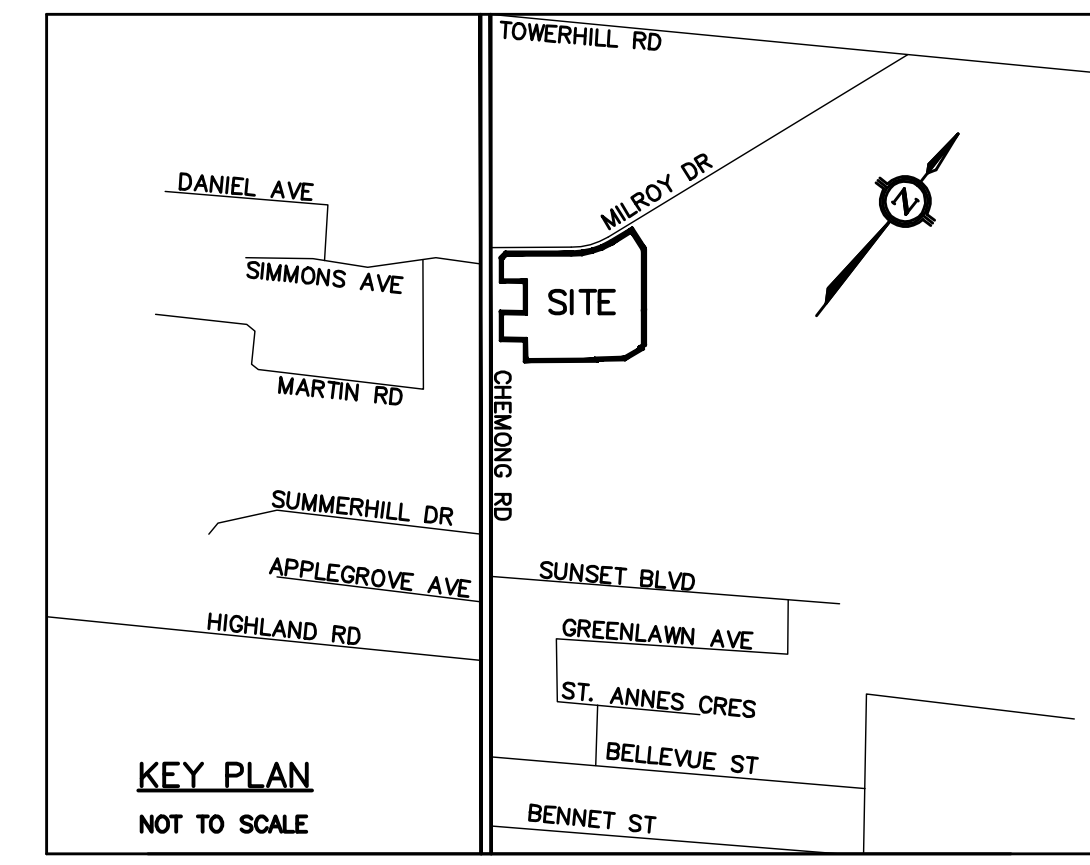
EXHIBIT
SHEET OF



The City of Peterborough Planning Division

Date - June 3, 2009
Dwg. by - K Muma
Scale - 1:4000

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GENERAL NOTES :

- NEW CONC SIDEWALK
- EDGE OF SIDEWALK AT BUILDING (REFER TO ARCH. DWGS)
- DEPRESSED CURB AND RAMP
- CONCRETE SIDEWALK AT BUILDING SHALL BE CONSTRUCTED BY BUILDING CONTRACTOR REFER TO ARCH. DWGS. FOR EXTENT
- SPEED BUMPS
- EXISTING SPEED BUMPS
- EXISTING STOP BAR
- EXISTING SIAMESE CONNECTION
- EXISTING SIGN TO REMAIN
- EXISTING 90° PARKING STRIPING SHALL BE REPAINTED
- NEW SCREEN WALL AT EXISTING LOADING AREA (REFER TO ARCH. DWGS.)
- HEAVY DUTY CONCRETE PAVING (SEE ARCH. DWGS.)
- 90° PARKING STRIPING (TYP.)
- HANDICAP PAVEMENT MARKING AND NEW SIGN (RC-6 TYP.)
- EXISTING TRAFFIC FLOW ARROWS
- EXISTING ASPHALT
- FIRE LANE MARKING (AS PER MUNICIP. OR PROV. STANDARDS)
- POLE MOUNTED UNLESS NOTED OTHERWISE
- EXISTING TLE SIGN
- PARKING SPACE AND SIGN FOR CUSTOMER WITH CHILD
- SCREEN WALL (REFER TO ARCH. DWGS.)
- EXISTING HANDICAP PAVEMENT MARKING AND EXISTING SIGN
- EXISTING PARKING SPACE AND SIGN FOR CUSTOMER WITH CHILD
- EXISTING GUARDRAIL
- EXISTING STOP SIGN, CONFIRM CONDITION WITH ENGINEER AND REPLACE IF REQUIRED
- PEDESTRIAN CROSSING SIGN (RA-4R & RA-4L)
- EXISTING RETAINING WALL
- PRECAST CONC BUMPERS
- EXISTING CART CORRAL
- EXISTING STEEL TUBE FENCE
- EXISTING CHAIN LINK FENCE TO BE CONVERTED TO 1.8m HIGH WOOD BOARD FENCE
- LANDSCAPED ISLAND/AREA (TYP.)
- EXISTING LANDSCAPED ISLAND/AREA
- CONCRETE TRASH COMPACTOR PAD
- EXISTING TRANSFORMER AND PAD
- NEW ASPHALT
- 115mm SINGLE BROKEN WHITE LINE AS PER MUNICIPAL STANDARDS
- NEW TRANSFORMER
- EXISTING 115mm SINGLE SOLID YELLOW LINE AS PER MUNICIPAL STANDARDS
- 115mm SINGLE SOLID YELLOW TRAFFIC ALIGNMENT LINE
- NEW SCREEN WALL AT EXISTING GARBAGE COMPACTOR (REFER TO ARCH. DWGS.)
- EXISTING BUS STOP
- NEW RETAINING WALL
- EXISTING PEDESTRIAN CROSSING
- 100mm PAINTED YELLOW STRIPES 600mm O.C AT 45°
- EXISTING PEDESTRIAN CROSSING
- EXISTING PEDESTRIAN CROSSING (ZEBRA STRIPING)
- EXISTING WOOD FENCE
- NEW PEDESTRIAN CROSSING (ZEBRA STRIPING)
- NEW 1.8m HIGH SOLID WOOD FENCE
- NEW CONCRETE SIDEWALK AT FULL CURB ELEVATION

LEGEND

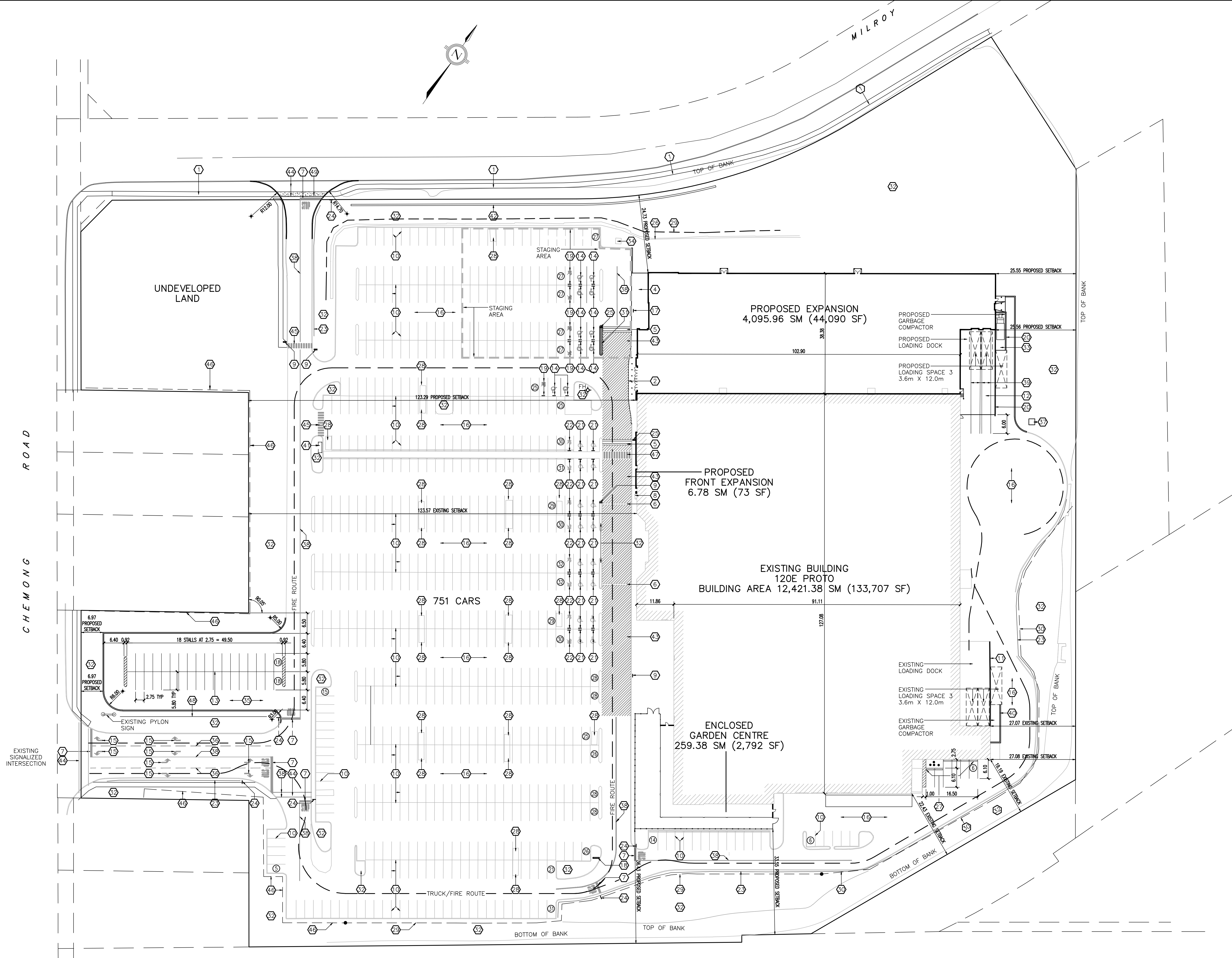
- NEW CONCRETE CURB
- EXISTING CONCRETE CURB
- PAINTED ISLAND
- LANDSCAPED ISLAND (CONCRETE CURB)
- PROPERTY LINE
- EXISTING FIRE HYDRANT

NOTE :

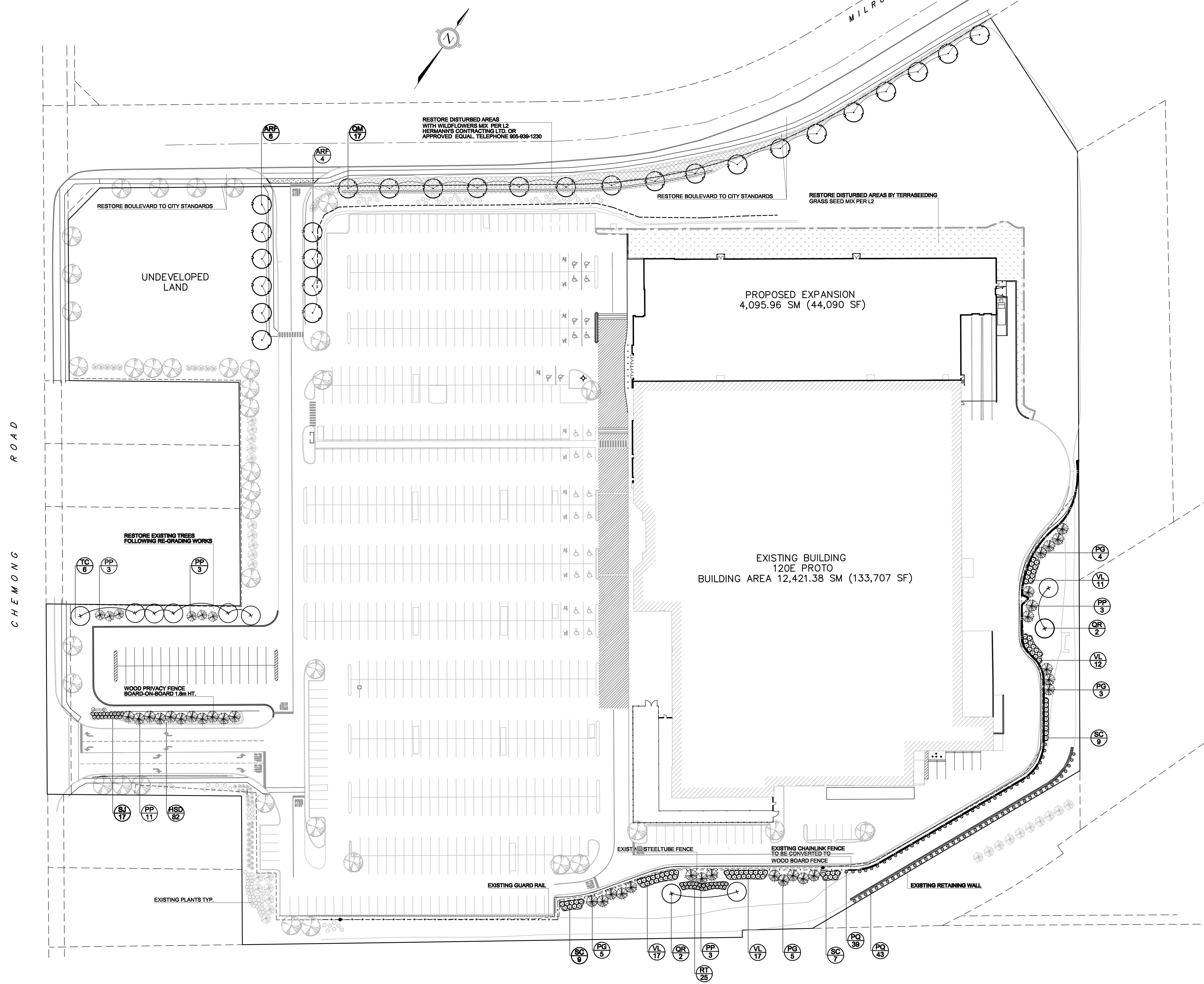
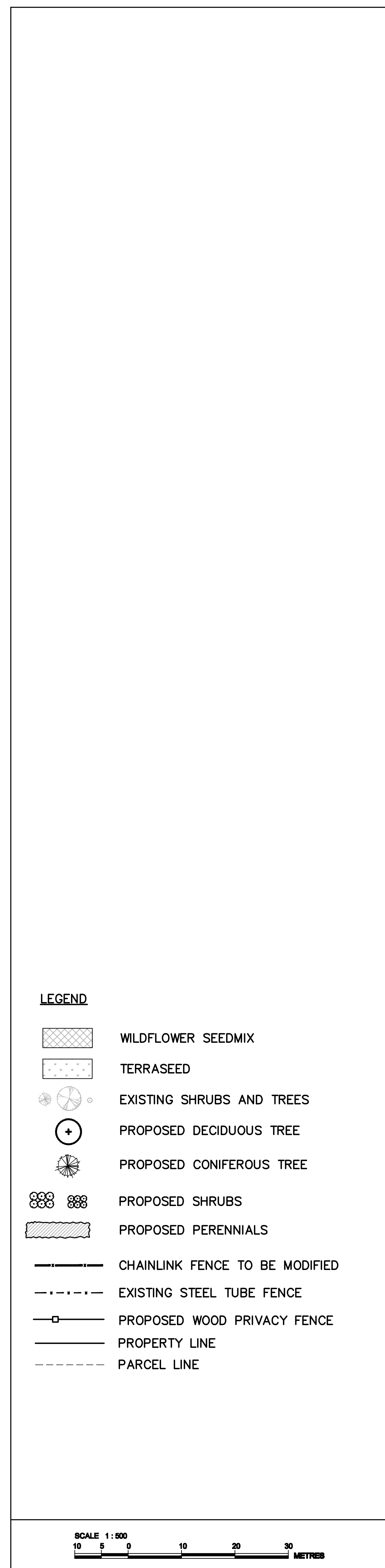
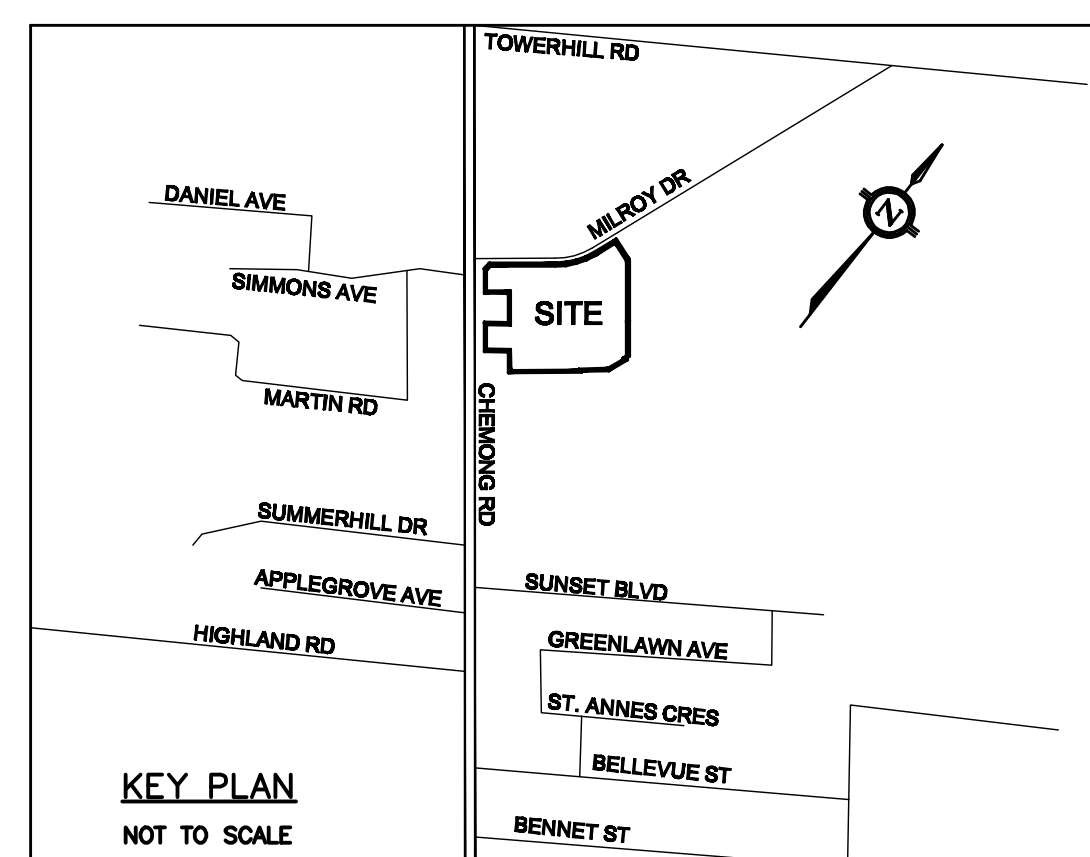
- PRIOR TO GRAND OPENING ALL EXISTING PAVEMENT MARKINGS SHALL BE RE-PAINTED.
- THE BOUNDARY SURVEY PLAN MUST BE USED IN CONJUNCTION WITH THE SITE PLAN-SW1 WHEN LAYING OUT THE BUILDING OR SITE PLAN FEATURES
- ALL WORK COMPLETED IN THE ROAD ALLOWANCE SHALL BE COMPLETED TO MUNICIPAL STANDARDS
- RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
- A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE.
- ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER MUNICIPAL FIELD STAFF DIRECTION.



WAL-MART PARCEL STATISTICS:
ZONING: SP.318-H3
PARCEL AREA 67,9024 SM = 6.79 HA (730,917.54 SF = 16,78 ACRES)
LOT COVERAGE: 24.71%
GROSS BUILDING AREA (TOTAL INCLUDING EXPANSION): 16,784.05 SM (180,662 SF)
FLOOR AREA FOR PARKING CALCULATIONS: 14,993.62 SM (161,390 SF)
MUNICIPAL PARKING REQUIRED (BASED ON REZONING): 750 CARS (1/20 SM) (4.65/1000 SF)
PARKING PROVIDED: 751 CARS (1/20 SM) (4.65/1000 SF)
INCLUDED IN ABOVE: 26 BARRIER FREE SPACES
LOADING SPACES: 3 EXISTING AND 3 PROPOSED = 6 LOADING SPACES







THE CORPORATION OF THE CITY OF PETERBOROUGH

BY-LAW NUMBER 10-_____

**BEING A BY-LAW TO AMEND THE ZONING BY-LAW FOR 1002
CHEMONG ROAD**

THE CORPORATION OF THE CITY OF PETERBOROUGH BY THE COUNCIL
THEREOF HEREBY ENACTS AS FOLLOWS:

1. **Map 3** forming part of Schedule "A" to By-law 97-123 is amended by changing the area shown on the sketch attached hereto as Schedule "A" **from SP.318 – "H3" to SP.318.**

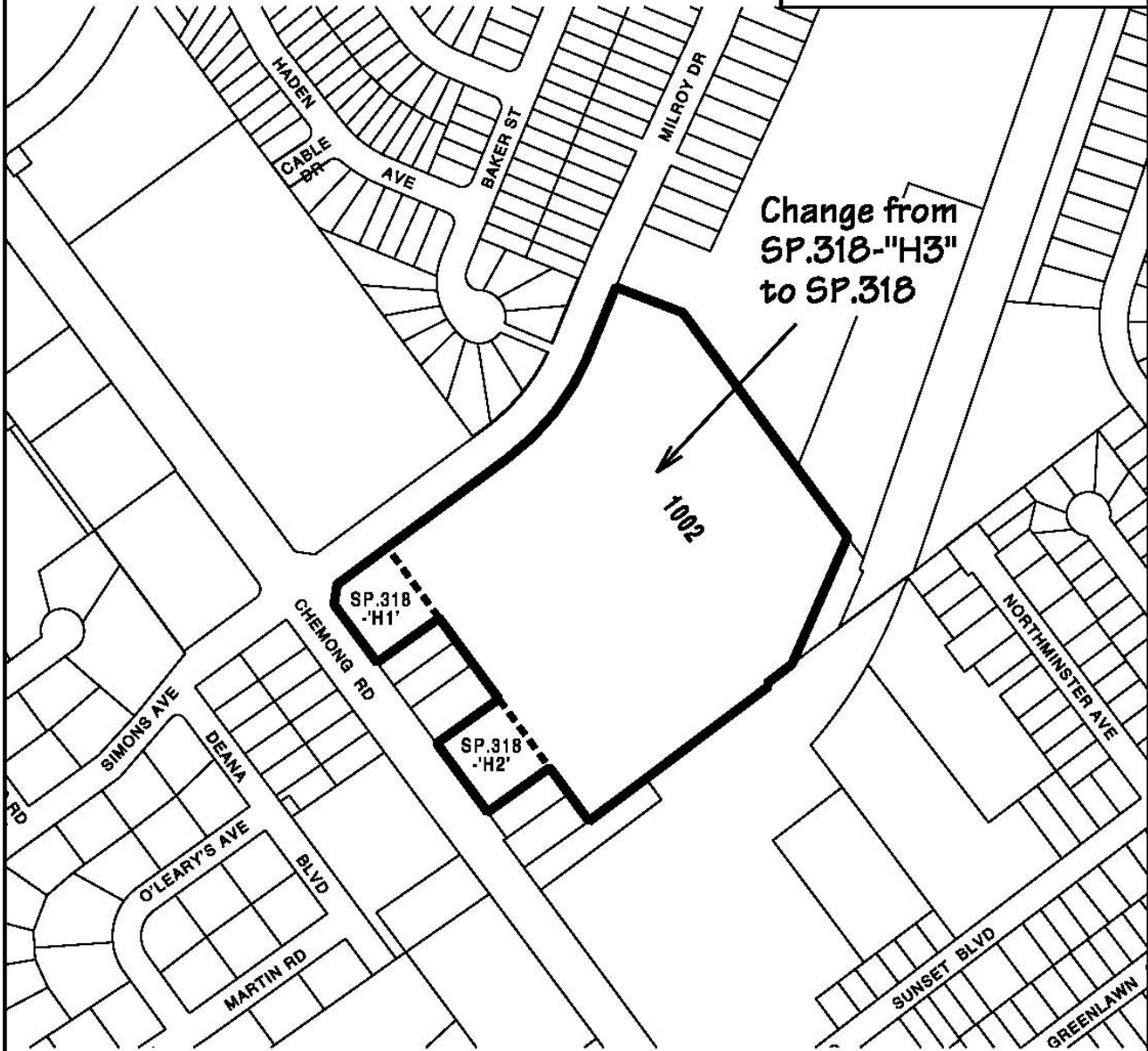
By-law read a first, second and third time this _____ day of _____, 2010.

D. Paul Ayotte, Mayor

Kevin Arjoon, Deputy Clerk



SCHEDULE 'A' TO
BYLAW 2010 -
PASSED THE DAY
OF 2010
MAYOR
CLERK



City of
Peterborough

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