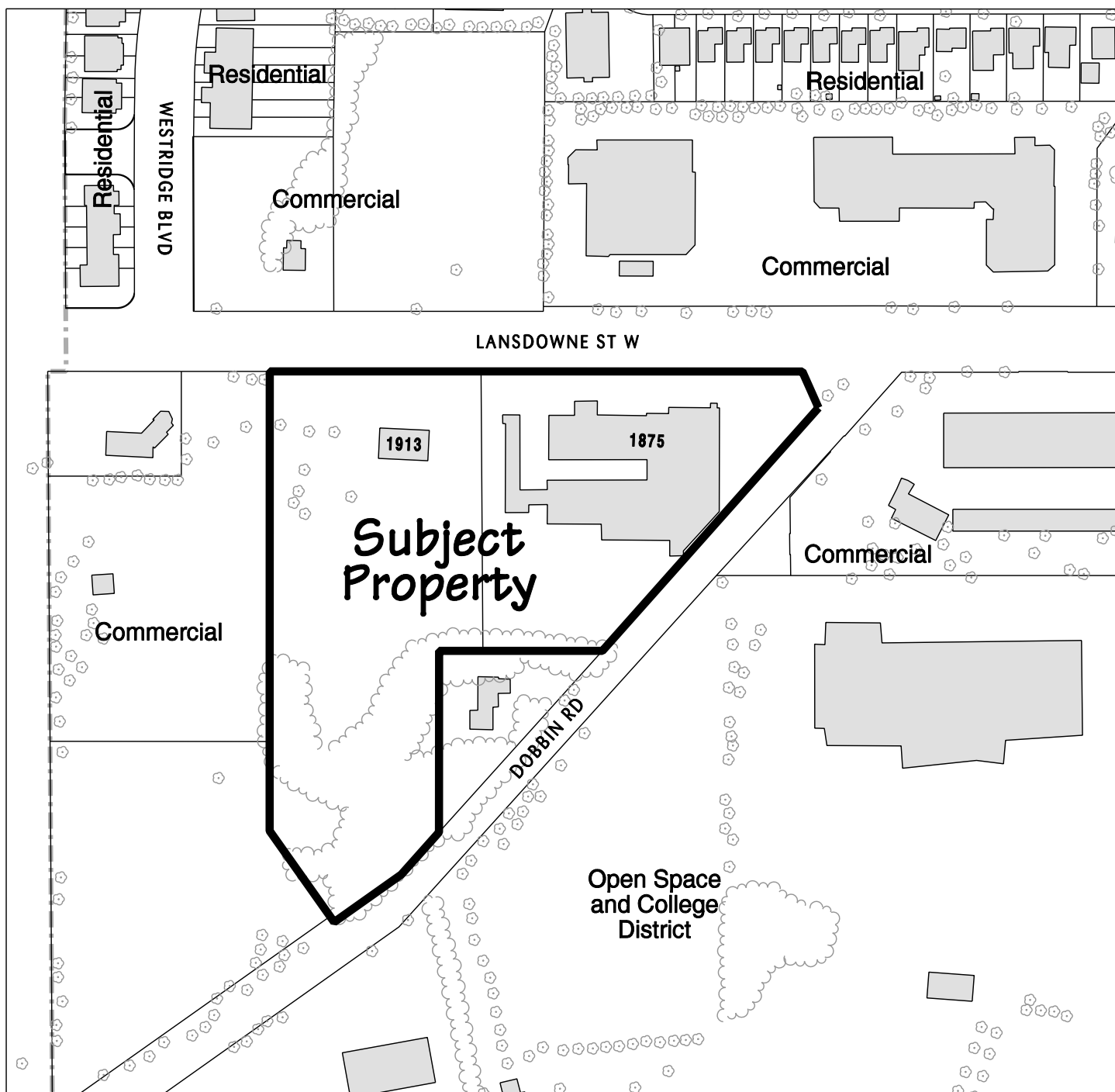


Land Use Map

File # z0819, o0804

EXHIBIT
SHEET OF

Property Location: 1875, 1913 Lansdowne St W



The City of Peterborough Planning Division

The "City of Peterborough," its employees, or agents, do not undertake to guarantee the validity of the contents of this digital or hardcopy mapfile, and will not be liable for any claims for damages or loss arising from their application or interpretation, by any party. It is not intended to replace a survey or to be used for legal description.



Date - March 2010
Dwg. by - CBerry
Scale - 1: 2500

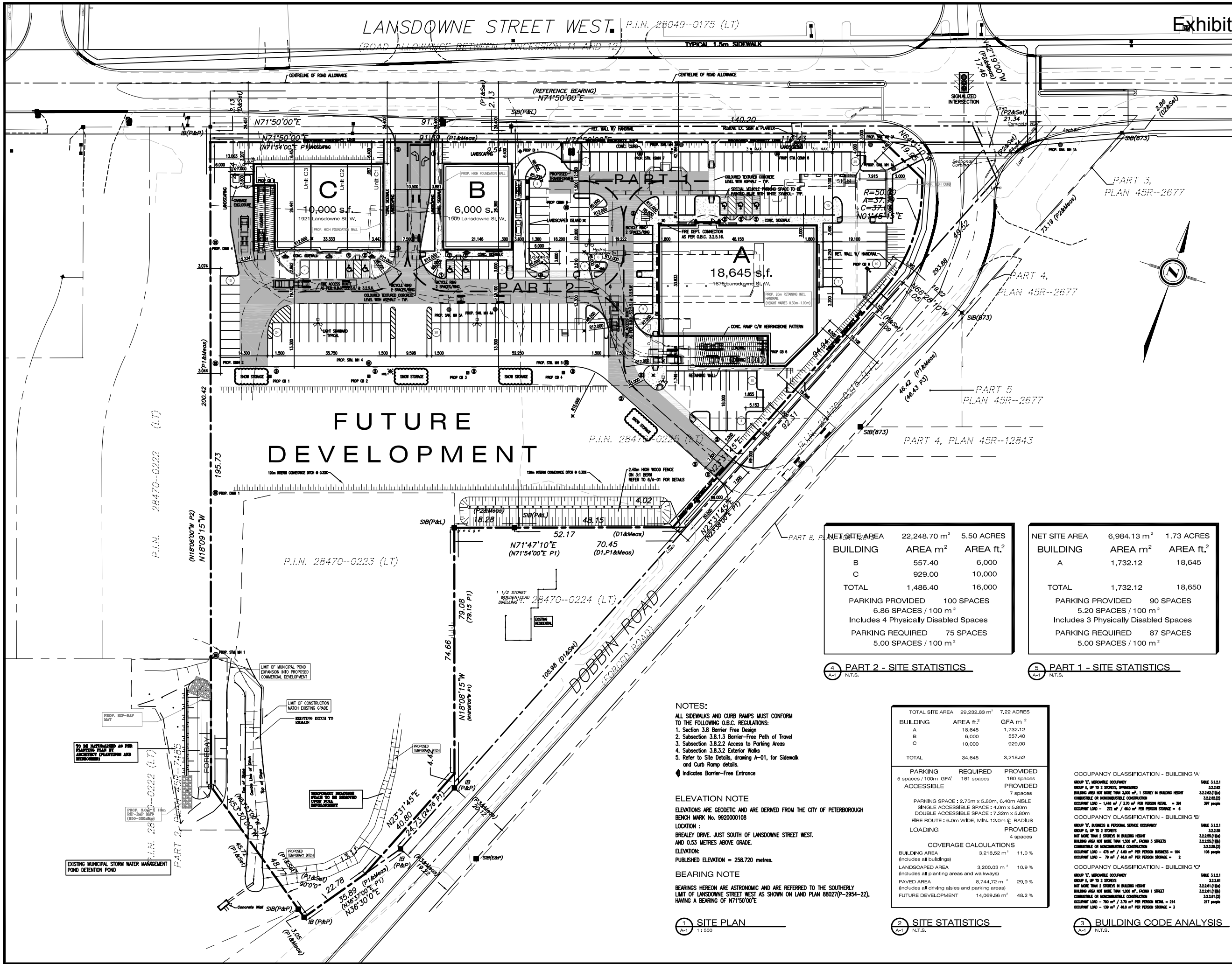


Exhibit B

Page 1 of 2

1

STOP Sign R-1 (800) on Support Steel

2

ACCESSIBLE PARKING Sign R-35 (800) on Support Steel

3

FIRE SERVICE Sign R-3-5 (800) on Support Steel or Wall

NOTE: REFER TO SEE PLAN FOR SIGN LOCATION

TRAFFIC SIGNS

#	Date	Revision	By
4	09/03/10	Revised as per City Comments	G.B.
3	17/02/10	Additional Road Widening at Corner	G.B.
2	22/01/10	Revised as per City Comments	G.B.
1	14/10/09	Road Widening & General Layout	G.B.

ABA

ARCHITECTS INC.

UNIT #3 304 WEST ST. N. WATERLOO ONT. TEL: 519.864.2711 FAX: 519.864.2288

Traugott

Building Contractors Inc.

95 Thompson Drive, Cambridge, Ontario N1T 2E4

Tel. 519.740.9444 Fax 519.740.9777

Goldmanco

75 The Donway West, Suite 1002

Toronto, Ontario M3C 2E9

Phone: (416) 445-1107

Fax: (416) 391-0586

COMMERCIAL DEVELOPMENT

1875-1921 LANSDOWNE STREET W.

PETERBOROUGH, ONTARIO

SITE PLAN

Drawn by: G.B.

Checked by:

Scale: 1 : 500

Date: March 9, 2010

Job no.: 5683

A-1

NET SITE AREA		
TOTAL	22,248.70 m ²	5.50 ACRES
BUILDING	AREA m ²	AREA ft. ²
B	557.40	6,000
C	929.00	10,000
TOTAL	1,486.40	16,000
PARKING PROVIDED 100 SPACES		
6.86 SPACES / 100 m ²		
Includes 4 Physically Disabled Spaces		
PARKING REQUIRED 75 SPACES		
5.00 SPACES / 100 m ²		

4 PART 2 - SITE STATISTICS
A-1 N.T.S.

NET SITE AREA		
TOTAL	6,984.13 m ²	1.73 ACRES
BUILDING	AREA m ²	AREA ft. ²
A	1,732.12	18,645
TOTAL	1,732.12	18,650
PARKING PROVIDED 90 SPACES		
5.20 SPACES / 100 m ²		
Includes 3 Physically Disabled Spaces		
PARKING REQUIRED 87 SPACES		
5.00 SPACES / 100 m ²		

5 PART 1 - SITE STATISTICS
A-1 N.T.S.

NOTES:
ALL SIDEWALKS AND CURB RAMPS MUST CONFORM TO THE FOLLOWING O.B.C. REGULATIONS:
1. Section 3.8 Barrier Free Design
2. Subsection 3.8.1.3 Barrier-Free Path of Travel
3. Subsection 3.8.2.2 Access to Parking Areas
4. Subsection 3.8.3.2 Exterior Walks
5. Refer to Site Details, drawing A-01, for Sidewalk and Curb Ramp details.
◀ Indicates Barrier-Free Entrance

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF PETERBOROUGH BENCH MARK No. 9920000108
LOCATION :
BREALEY DRIVE, JUST SOUTH OF LANSDOWNE STREET WEST, AND 0.53 METRES ABOVE GRADE.
ELEVATION:
PUBLISHED ELEVATION = 258.720 metres.

BEARING NOTE
BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LANSDOWNE STREET WEST AS SHOWN ON LAND PLAN 88027(P-2954-22), HAVING A BEARING OF N71°50'00"E

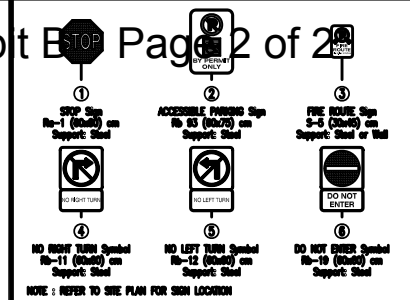
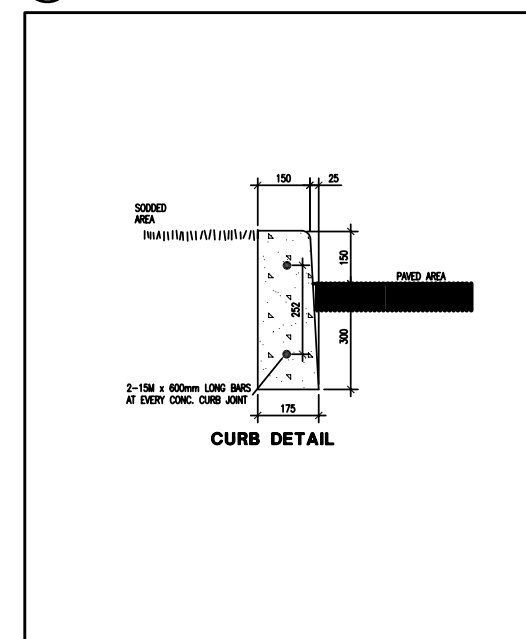
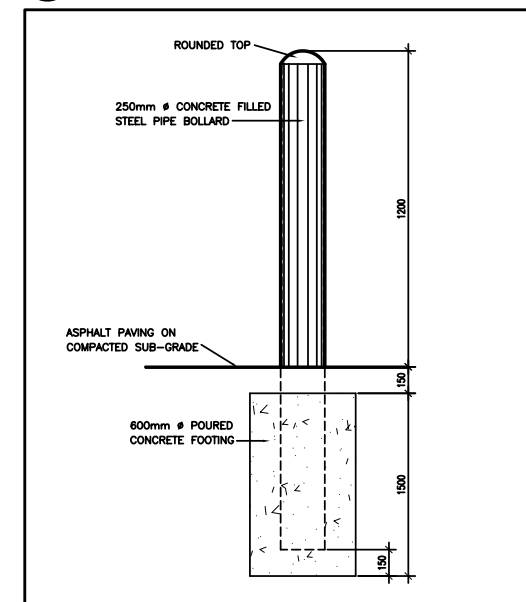
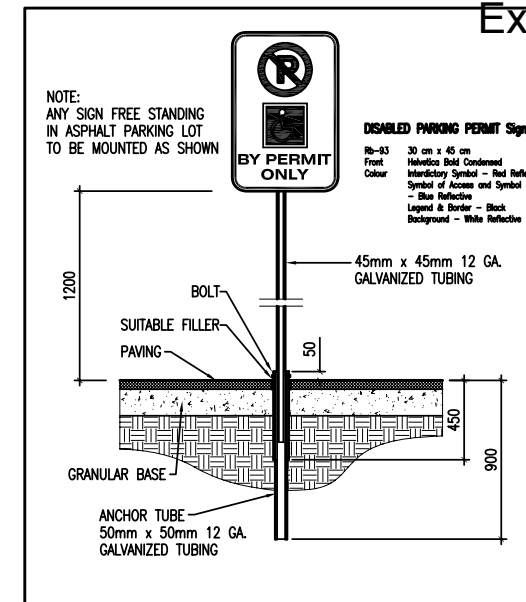
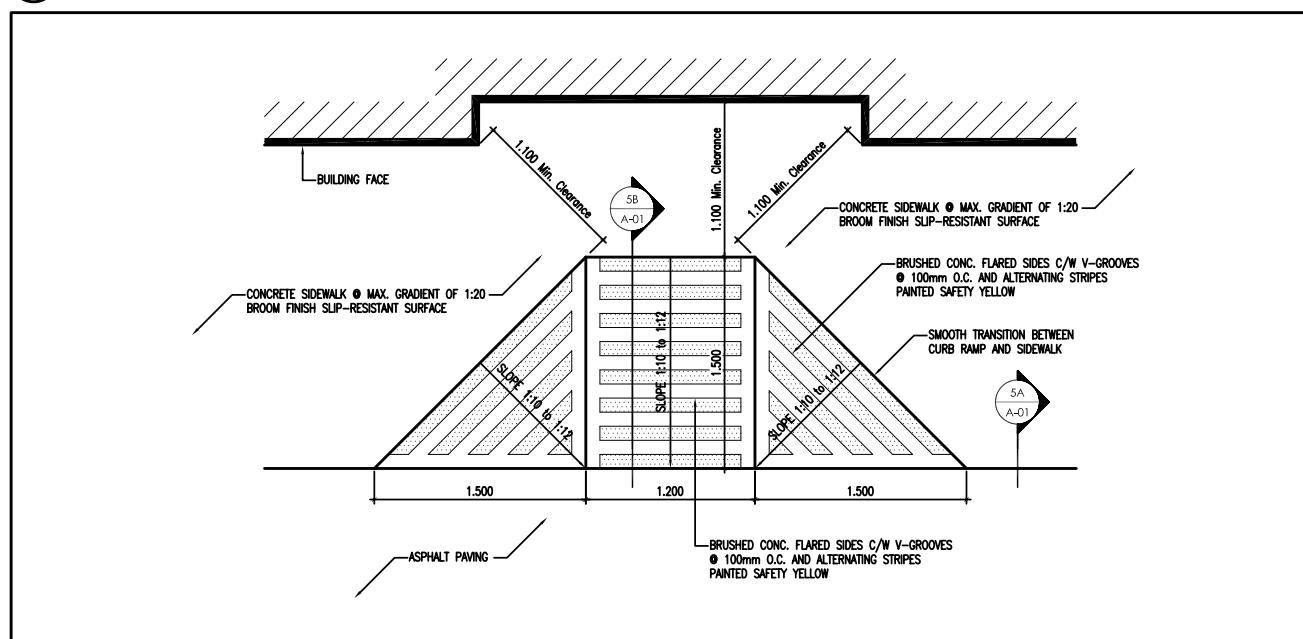
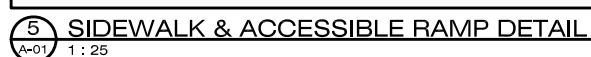
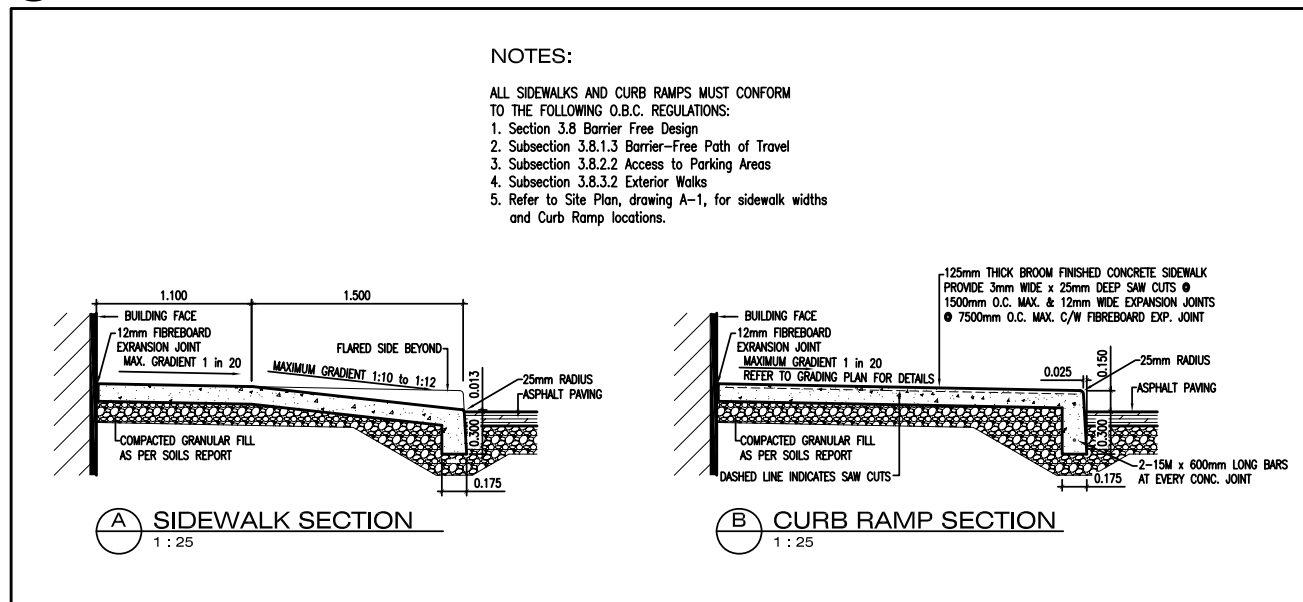
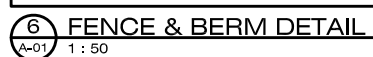
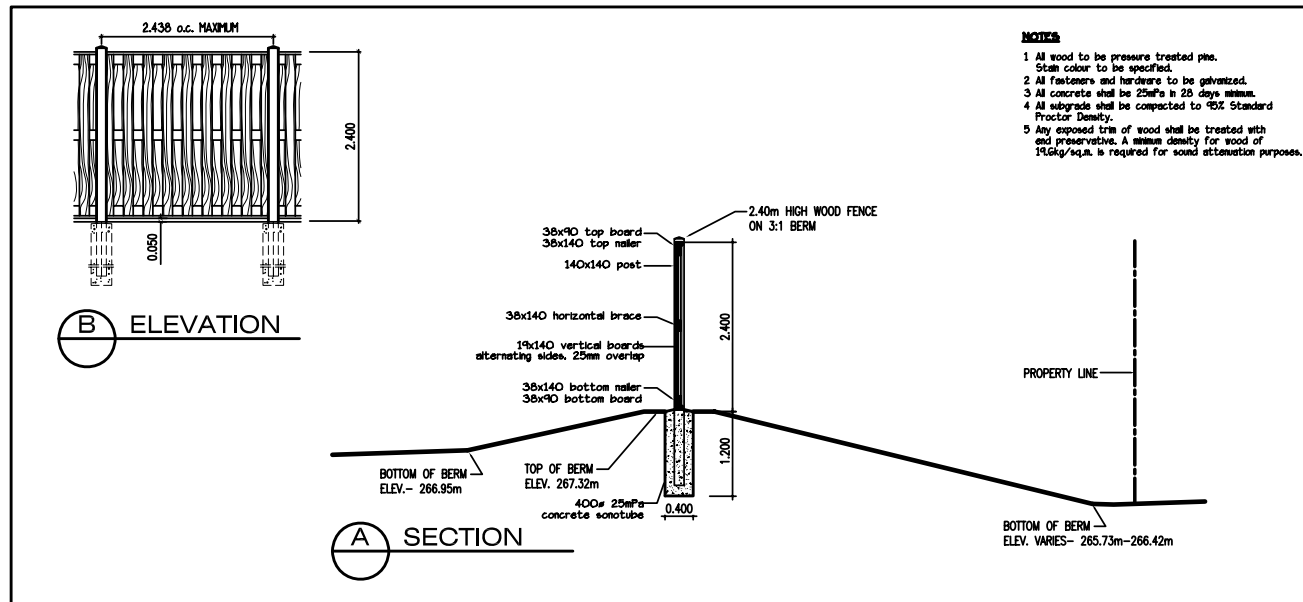
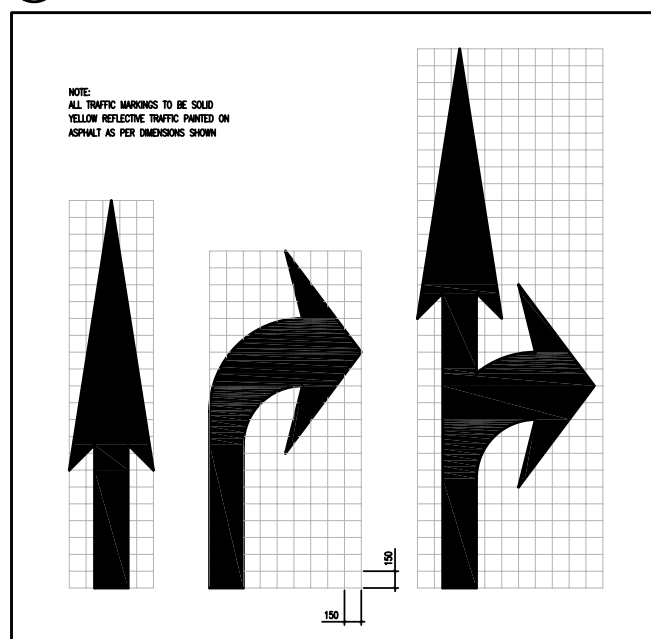
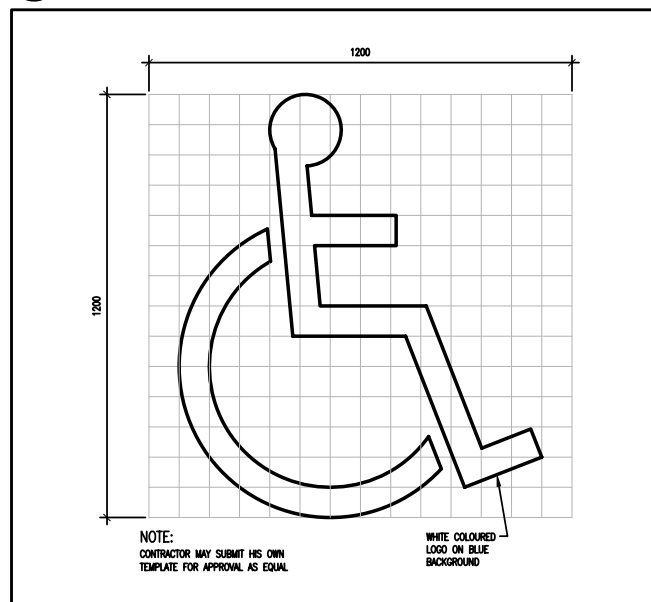
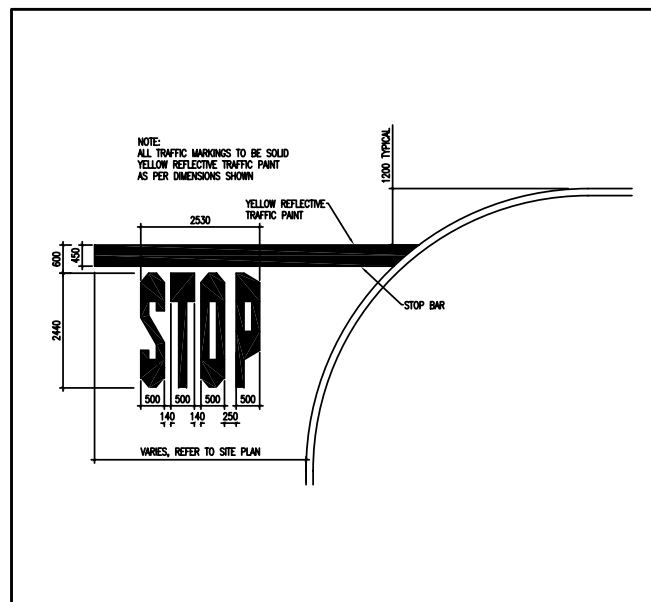
1 SITE PLAN
A-1 1 : 500

TOTAL SITE AREA		
TOTAL	29,233.83 m ²	7.22 ACRES
BUILDING	AREA ft. ²	GFA m ²
A	18,645	1,732.12
B	6,000	557.40
C	10,000	929.00
TOTAL	34,645	3,218.52
PARKING		
5 spaces / 100m ² GFA	161 spaces	190 spaces
ACCESSIBLE		
7 spaces		
PARKING SPACE: 2.75m x 5.80m, 6.40m AISLE		
SINGLE ACCESSIBLE SPACE: 4.0m x 5.80m		
DOUBLE ACCESSIBLE SPACE: 7.32m x 5.80m		
FIRE ROUTE: 6.0m WIDE, MIN. 12.0m @ RADIUS		
LOADING		
4 spaces		
COVERAGE CALCULATIONS		
BUILDING AREA	3,218.52 m ²	11.0 %
(Includes all buildings)		
LANDSCAPED AREA	3,200.03 m ²	10.9 %
(Includes all planting areas and walkways)		
PAVED AREA	8,744.72 m ²	29.9 %
(Includes all driving aisles and parking areas)		
FUTURE DEVELOPMENT	14,069.56 m ²	48.2 %

2 SITE STATISTICS
A-1 N.T.S.

OCCUPANCY CLASSIFICATION - BUILDING 'A'
GROUP 'C', MERCHANT OCCUPANCY
GROUP C, UP TO 2 STOREYS, SPRINKLED
BUILDING AREA NOT MORE THAN 3,000 m², 1 STOREY IN BUILDING HEIGHT
CONSTRUCTED ON NONCOMBUSTIBLE CONSTRUCTION
OCCUPANT LOAD - 1,440 m² / 3.70 m² PER PERSON NEARLY = 391
OCCUPANT LOAD - 272 m² / 46.0 m² PER PERSON STORAGE = 6
OCCUPANCY CLASSIFICATION - BUILDING 'B'
GROUP 'V', BUSINESS & PERSONAL SERVICE OCCUPANCY
GROUP B, UP TO 2 STOREYS
NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT
BUILDING AREA NOT MORE THAN 1,000 m², FACING 3 STREETS
CONSTRUCTED ON NONCOMBUSTIBLE CONSTRUCTION
OCCUPANT LOAD - 450 m² / 4.0 m² PER PERSON STORAGE = 104
OCCUPANT LOAD - 70 m² / 46.0 m² PER PERSON STORAGE = 2
OCCUPANCY CLASSIFICATION - BUILDING 'C'
GROUP 'C', MERCHANT OCCUPANCY
GROUP C, UP TO 2 STOREYS
NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT
BUILDING AREA NOT MORE THAN 1,000 m², FACING 1 STREET
CONSTRUCTED ON NONCOMBUSTIBLE CONSTRUCTION
OCCUPANT LOAD - 700 m² / 3.70 m² PER PERSON NEARLY = 214
OCCUPANT LOAD - 130 m² / 46.0 m² PER PERSON STORAGE = 3

3 BUILDING CODE ANALYSIS
A-1 N.T.S.



TRAFFIC SIGNS

1	15/01/10	FENCE DETAIL SHOWN	G.B.
#	Date	Revision	By

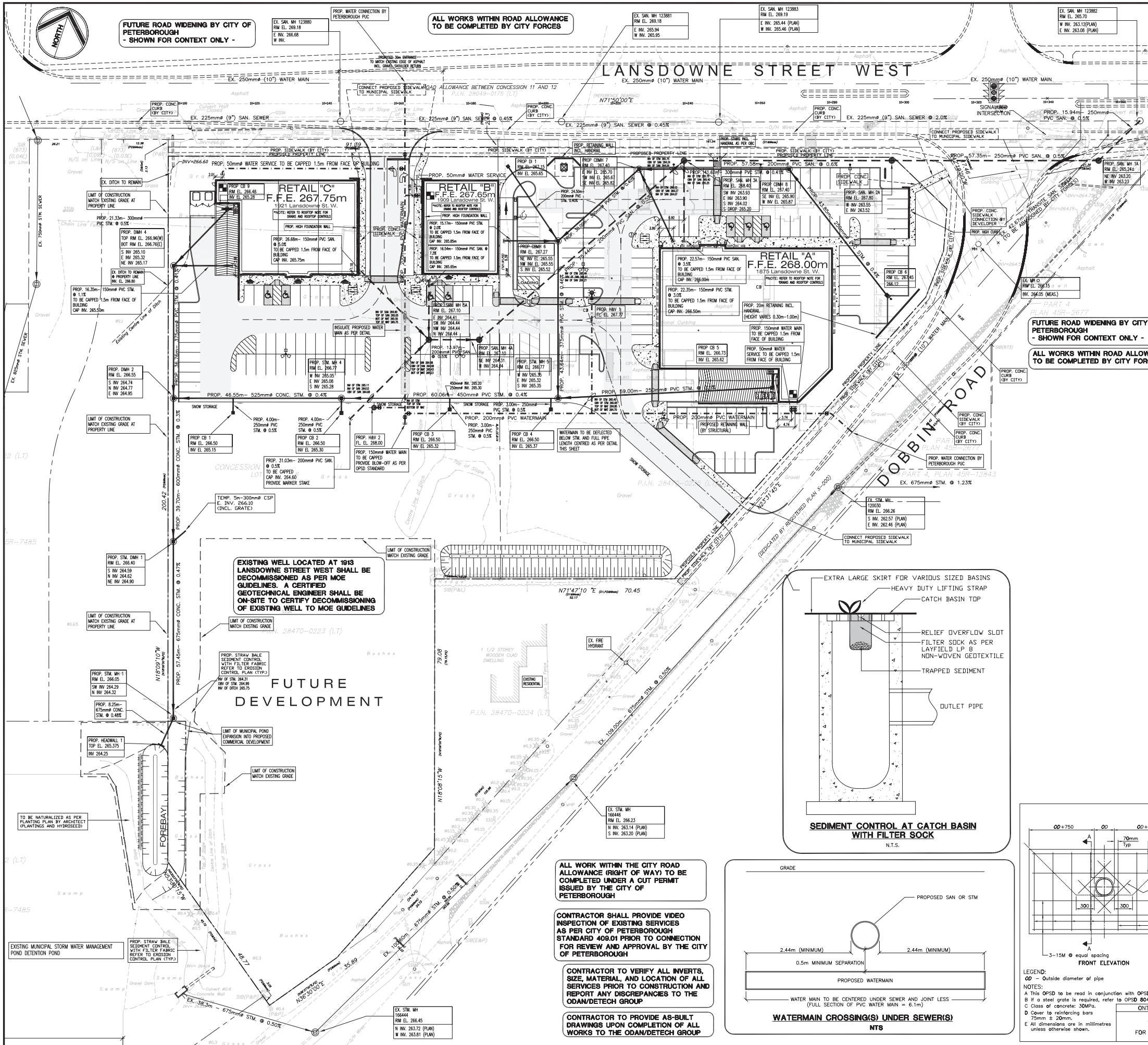
ABA
ARCHITECTS INC.
UNIT #5 564 MEYER ST. N. WATERLOO ONT. TEL. 519.884.2711 FAX 519.884.2289




Traugott
Building Contractors Inc.
95 Thompson Drive, Cambridge, Ontario N1T 2E4
Tel. 519.740.9444 Fax 519.740.9777

Goldmanco
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Toronto, Ontario M3C 2E9
Phone: (416) 445-1107
Fax: (416) 391-0586

COMMERCIAL DEVELOPMENT	
1875-1913 LANSDOWNE STREET W.	
PETERBOROUGH, ONTARIO	
SITE DETAILS	
Drawn by:	G.B.
Checked by:	
Scale:	AS NOTED
Date:	January 15, 2010
Job no.:	5683
A-01	



- SERVICING LEGEND:**
- DENOTES EXISTING STORM MANHOLE
 - DENOTES PROPOSED STORM MANHOLE
 - DENOTES EXISTING CATCH BASIN
 - DENOTES PROPOSED CATCHBASIN
 - DENOTES PROPOSED STORMCEPTOR
 - DENOTES PROPOSED INLET CONTROL DEVICE (ICD)
 - DENOTES EXISTING STORM SEWER
 - DENOTES PROPOSED STORM SEWER
 - DENOTES EXISTING SANITARY MANHOLE
 - DENOTES PROPOSED SANITARY MANHOLE
 - DENOTES PROPOSED SANITARY SEWER
 - DENOTES EXISTING SANITARY SEWER
 - DENOTES PROPOSED HYDRANT
 - DENOTES EXISTING HYDRANT
 - DENOTES PROPOSED WATER VALVE & BOX
 - DENOTES EXISTING WATER VALVE & BOX
 - DENOTES PROPOSED WATER METER
 - DENOTES EXISTING WATER MAIN
 - DENOTES PROPOSED WATER MAIN
 - DENOTES PROPOSED SIAMSE CONNECTION
 - DENOTES PROPOSED CAP FOR SANITARY, STORM, AND/OR WATER AS NOTED
 - DENOTES PROPOSED ENTRANCE LOCATION
 - DENOTES PROPOSED LIMIT OF CONSTRUCTION
 - DENOTES PROPOSED HEAVY DUTY ASPHALT AREA

KEY PLAN
Scale: N.T.S.

NOTE:

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING THE WORK THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ARCHITECTS/ENGINEERS BEFORE PROCEEDING WITH THE WORKS. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THIS DRAWING IS NOT TO BE SCALED. THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS.

THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUT, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC...

EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED BY SPEIGHT VAN NOSTRAND AND GIBSON

BOUNDARY DATA DERIVED FROM INFORMATION FROM SPEIGHT VAN NOSTRAND AND GIBSON

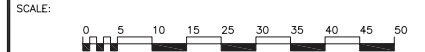
BENCH MARK:
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF PETERBOROUGH BENCH MARK NO. 992000108

LOCATION:
BREAKEY DRIVE, JUST SOUTH OF LANSDOWNE STREET WEST, AND 0.53 METRES ABOVE GRADE.
ELEVATION:
PUBLISHED ELEVATION = 258.720 metres.

BEARING NOTE
BEARINGS HEREON ARE ASTROMONIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LANSDOWNE STREET WEST AS SHOWN ON LAND PLAN 88027(P-2954-22), HAVING A BEARING OF N71°50'00"E

METRIC NOTE:
DISTANCES AND ELEVATIONS ON THIS PLAN ARE TYPICALLY SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NO.	REVISIONS	DATE	BY
2	REVISED AS PER CITY COMMENTS	JAN-25-10	MHH
1	REVISED AS PER CITY COMMENTS	OCT-16-09	MHH
	REVISED SITE PLAN		



SITE SERVING PLAN

CLIENT: **GOLDMANCO**
75 The Donway West, Suite 1002
Toronto, Ontario M3C 2E9
Phone: (416) 445-1107
Fax: (416) 391-0586

PROJECT: **COMMERCIAL DEVELOPMENT**
1875-1913 LANSDOWNE STREET W.
PETERBOROUGH, ONTARIO

ODAM/DETECH
THE ODAM/DETECH GROUP - CONSULTING ENGINEERS

6230 SOUTH SERVICE ROAD, BURLINGTON, ONTARIO L7L 5K2
OFF: (905) 632-3811 FAX: (905) 632-3363

SCALE: 1:500 PROJ. NO.: 08223 DATE: SEPT 2008 DESIGN BY: J.K.

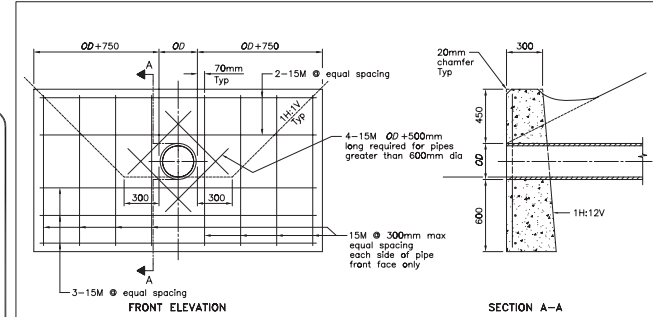
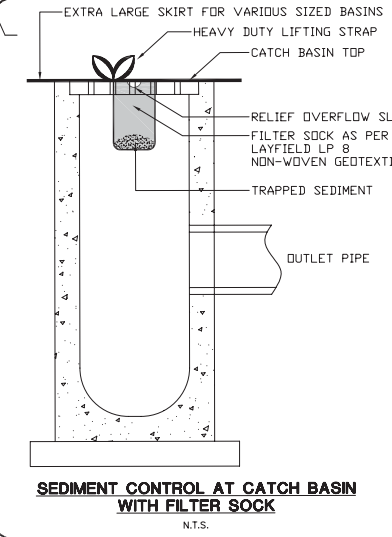
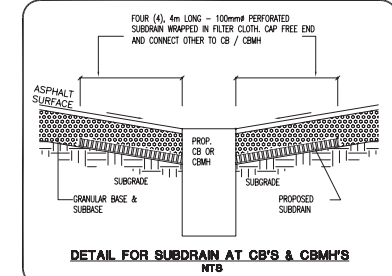
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CHECKED BY: D.C.S.

APPROVED BY: J.K.

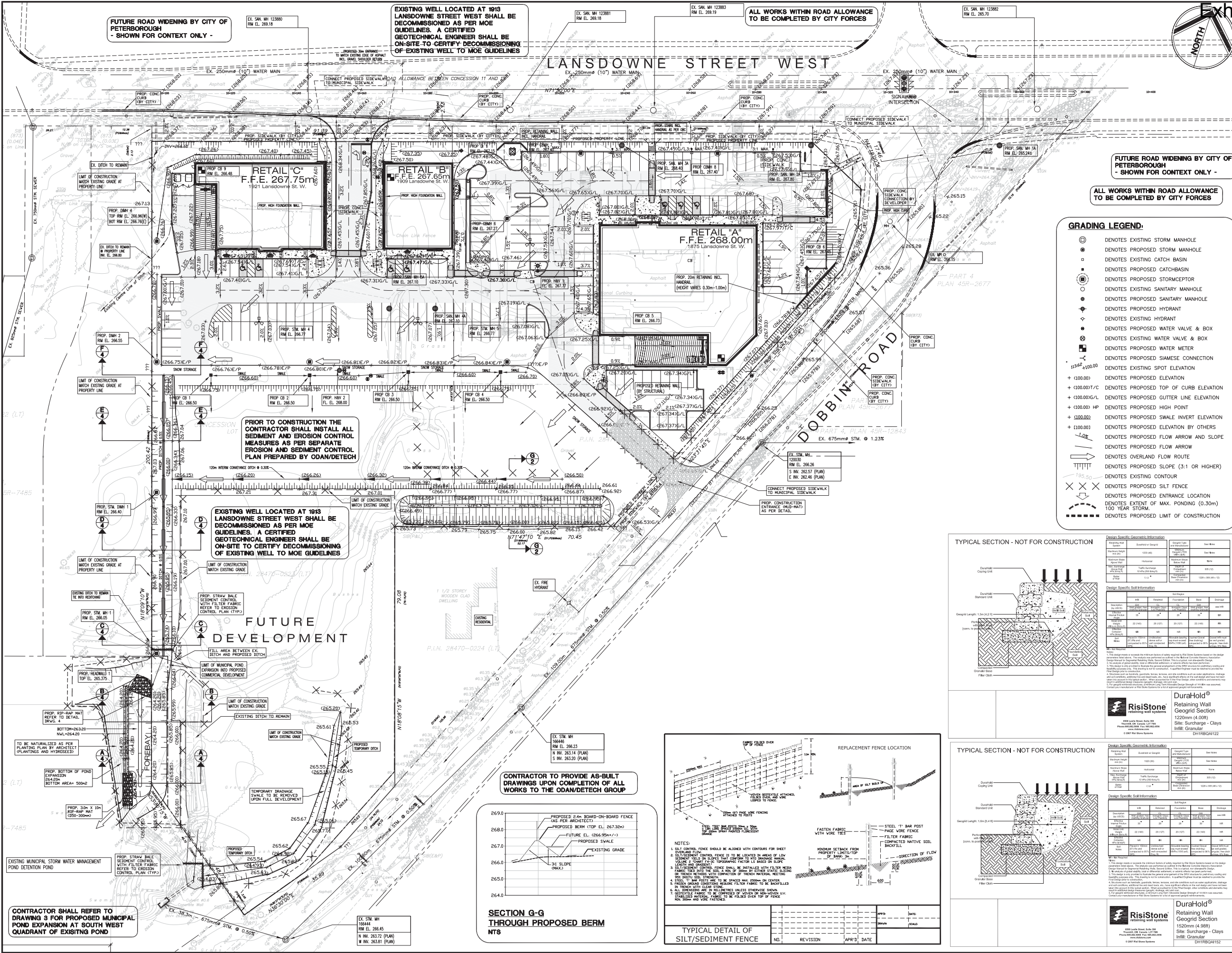
DRWG. NO.: 1 OF 4

FILE NUMBER ENGINEER



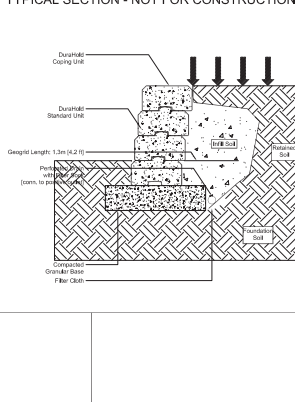
LEGEND:
OD = Outside diameter of pipe
NOTES:
A This OPSD to be read in conjunction with OPSD 3940.150.
B If a steel grate is required, refer to OPSD 804.05.
C Class of concrete: 30MPa.
D Cover to reinforcing bars: 75mm ± 20mm.
E All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING
CONCRETE HEADWALL
FOR PIPE LESS THAN 900mm DIAMETER
OPSD 804.030

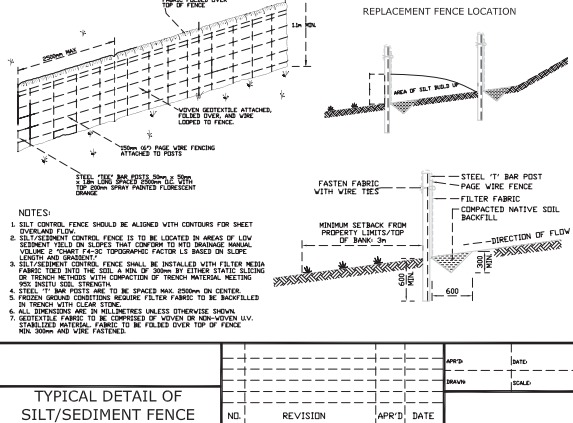


- GRADING LEGEND:**
- DENOTES EXISTING STORM MANHOLE
 - DENOTES PROPOSED STORM MANHOLE
 - DENOTES EXISTING CATCH BASIN
 - DENOTES PROPOSED CATCH BASIN
 - DENOTES EXISTING SANITARY MANHOLE
 - DENOTES PROPOSED SANITARY MANHOLE
 - DENOTES EXISTING HYDRANT
 - DENOTES PROPOSED HYDRANT
 - DENOTES EXISTING WATER VALVE & BOX
 - DENOTES PROPOSED WATER VALVE & BOX
 - DENOTES EXISTING WATER METER
 - DENOTES PROPOSED WATER METER
 - DENOTES EXISTING SIAMOSE CONNECTION
 - DENOTES EXISTING SPOT ELEVATION
 - + (100.00) DENOTES PROPOSED ELEVATION
 - + (100.00)/C DENOTES PROPOSED TOP OF CURB ELEVATION
 - + (100.00)/G DENOTES PROPOSED GUTTER LINE ELEVATION
 - + (100.00) HP DENOTES PROPOSED HIGH POINT
 - + (100.00) DENOTES PROPOSED SWALE INVERT ELEVATION
 - + (100.00) DENOTES PROPOSED ELEVATION BY OTHERS
 - DENOTES PROPOSED FLOW ARROW AND SLOPE
 - DENOTES PROPOSED FLOW ARROW
 - DENOTES OVERLAND FLOW ROUTE
 - DENOTES PROPOSED SLOPE (3:1 OR HIGHER)
 - DENOTES EXISTING CONTOUR
 - XXX DENOTES PROPOSED SILT FENCE
 - XXX DENOTES PROPOSED ENTRANCE LOCATION
 - DENOTES EXTENT OF MAX. PONDING (0.30m)
 - DENOTES PROPOSED LIMIT OF CONSTRUCTION

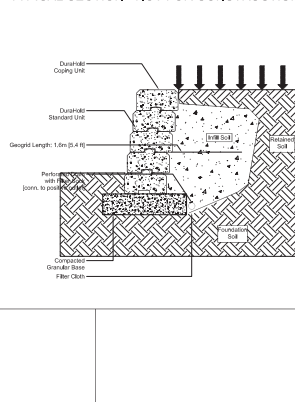
TYPICAL SECTION - NOT FOR CONSTRUCTION



Design Specific Geometric Information		Design Specific Soil Information	
Retaining Wall	Geogrid	Soil Type	Soil Notes
Maximum Height	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
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Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes

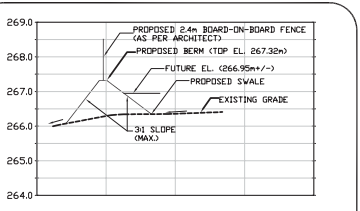


TYPICAL SECTION - NOT FOR CONSTRUCTION



Design Specific Geometric Information		Design Specific Soil Information	
Retaining Wall	Geogrid	Soil Type	Soil Notes
Maximum Height	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes
Maximum Slope	Maximum Length	Soil Type	Soil Notes

CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF ALL WORKS TO THE ODAN/DETECH GROUP



SECTION G-G THROUGH PROPOSED BERM

KEY PLAN
Scale: N.T.S.

NOTE:

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING THE WORK THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

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THIS DRAWING IS NOT TO BE SCALED.

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EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED BY SPEIGHT VAN NOSTRAND AND GIBSON

BOUNDARY DATA DERIVED FROM INFORMATION FROM SPEIGHT VAN NOSTRAND AND GIBSON

BENCH MARK:
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF PETERBOROUGH BENCH MARK NO. 9920000108

LOCATION: BREALEY DRIVE, JUST SOUTH OF LANSDOWNE STREET WEST, AND 0.53 METRES ABOVE GRADE.

ELEVATION: PUBLISHED ELEVATION = 258.720 metres.

BEARING NOTE
BEARINGS HEREON ARE ASTROMONIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LANSDOWNE STREET WEST AS SHOWN ON LAND PLAN 88027(2)-2954-22, HAVING A BEARING OF N71°50'00"E

METRIC NOTE:
DISTANCES AND ELEVATIONS ON THIS PLAN ARE TYPICALLY SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NO.	REVISIONS	DATE	BY
2	REVISED AS PER CITY COMMENTS	JAN-25-10	MHH
1	REVISED AS PER CITY COMMENTS	OCT-16-09	MHH
1	REVISED SITE PLAN		

SCALE: 0 5 10 15 25 30 35 40 45 50

DRAWING: **SITE GRADING PLAN & STORM WATER MANAGEMENT PLAN**

CLIENT: **GOLDMANCO**
75 The Donway West, Suite 1002
Toronto, Ontario M3C 2E9
Phone: (416) 445-1107
Fax: (416) 391-0586

PROJECT: **COMMERCIAL DEVELOPMENT**
1875-1913 LANSDOWNE STREET W.
PETERBOROUGH, ONTARIO

6230 SOUTH SERVICE ROAD, BURLINGTON, ONTARIO L7L 5K2
OFF: (905) 632-3811 FAX: (905) 632-3363

SCALE: 1:500 PROJ. NO.: 08223 DATE: SEPT 2008 DESIGN BY: J.K.

08223-2C.DWG DRAWN BY: M.H.H.

CHECKED BY: D.C.S.

APPROVED BY: J.K.

DRWG. NO.: 2 OF 4

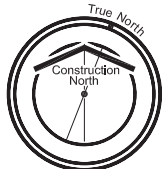
FILE NUMBER ENGINEER

RECEIVED PROFESSIONAL ENGINEER I. KRPAN JAN-25-10 PROVINCE OF ONTARIO

N.T.S.

4	Jan 27/10	Drawing Coordination	HB
3	Jan 18/10	Drawing Coordination	HB
2	Jan 5/10	Drawing Coordination/ Municipal Comments	HB
1	Oct 19/09	Drawing Coordination	HB
No. Date		Revision	By

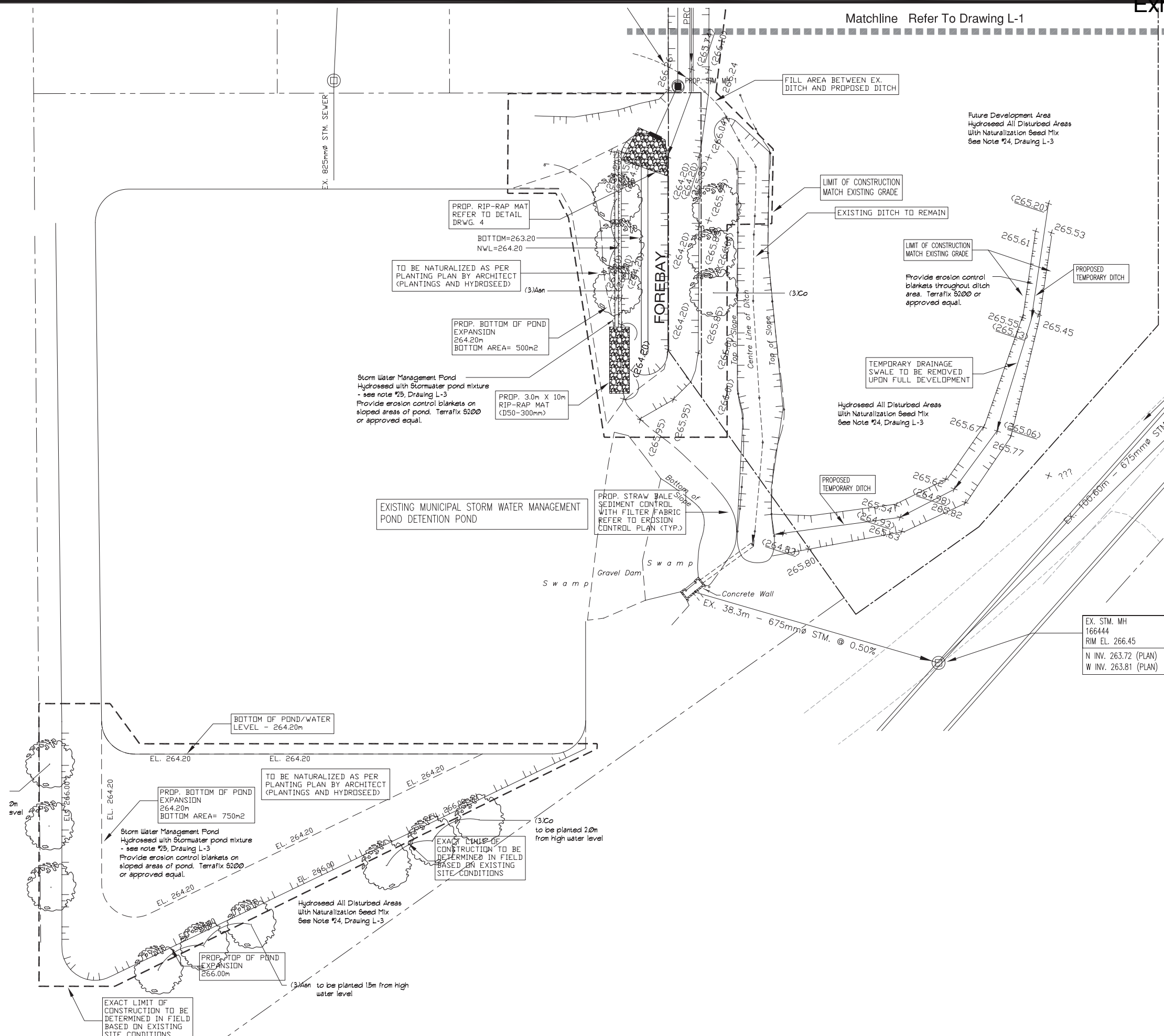
Civil The Odan/Detech Group
Consultant: 5230 South Service Road,
 Burlington, Ontario
 L7L 5K2



235 Carlaw Avenue, Suite 407, Toronto, Ontario M4M 2S1
Tel. (416) 778-7876 ♦ Fax (416) 778-7874
e-mail: design@brodile.on.ca

1875-1913 Lansdowne Street W.
Peterborough, Ontario

Job No.: 08-37	Drawing No.: L-2
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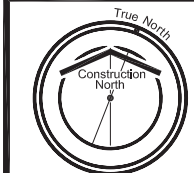
Key Plan	N.T.S.
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4	Jan 27/10	Drawing Coordination	HB
3	Jan 18/10	Drawing Coordination	HB
2	Jan 5/10	Drawing Coordination/ Municipal Comments	HB
1	Oct 19/09	Drawing Coordination	HB
No. Date		Revision	By

Prime Consultant: Traugott Building Contractors Inc.
95 Thompson Drive
Cambridge, Ontario
N1T 2E4

Civil
Consultant:

The Odan/Detech Group
5230 South Service Road,
Burlington, Ontario
L7L 5K2



**BRODIE
&
ASSOCIATES**
LANDSCAPE ARCHITECTS INC.

235 Carlaw Avenue, Suite 407, Toronto, Ontario M4M 2S1
Tel. (416) 778-7876 ♦ Fax (416) 778-7874
e-mail: design@brodie.on.ca

Project: Commercial Development

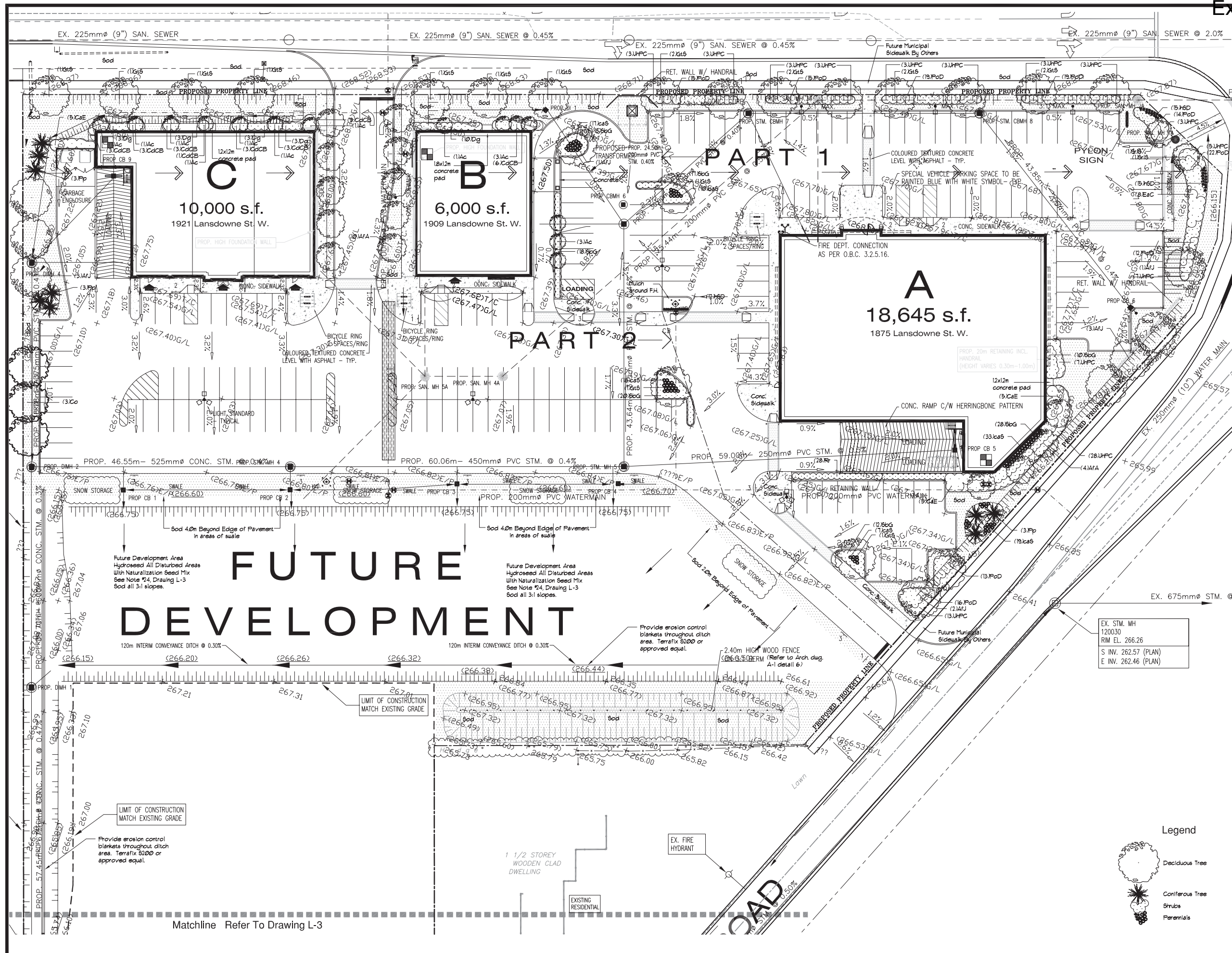
1875-1913 Lansdowne Street W.
Peterborough, Ontario

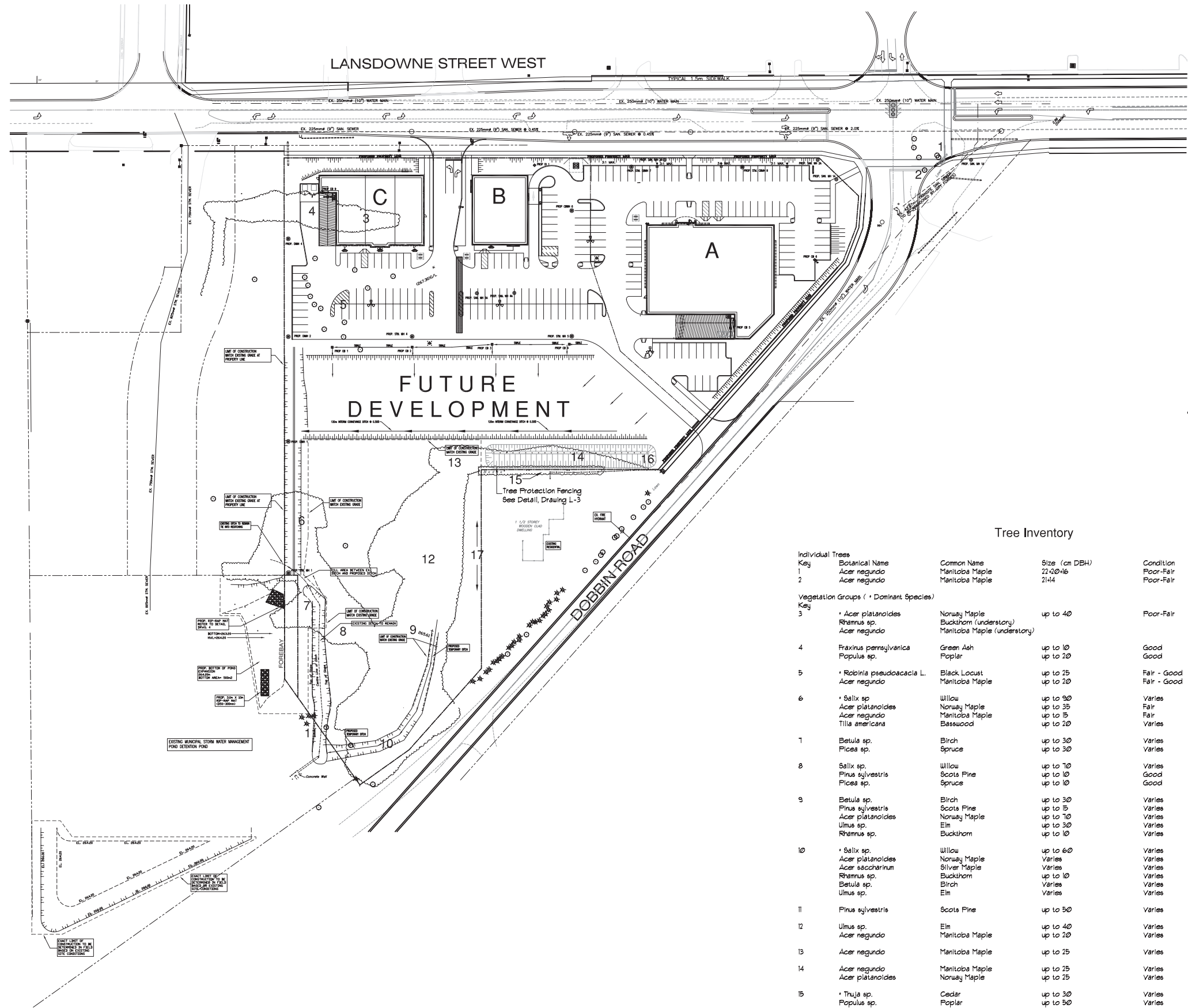
Title: Landscape Plan (North)

Scale: 1:300	Date: Nov. 2008
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Designed: JB	Drawn: JB
--------------	-----------

Job No.: 08-37	Drawing No.: L-1
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Legend

- Existing Deciduous Tree
- Existing Coniferous Tree
- Existing Edge of Vegetation
- Hoarding

Tree Inventory

Individual Trees						
Key	Botanical Name	Common Name	Size (cm DBH)	Condition	Comments	
1	Acer negundo	Manitoba Maple	22-20+16	Poor-Fair	To Be Removed	
2	Acer negundo	Manitoba Maple	21+14	Poor-Fair	To Be Removed	
Vegetation Groups (+ Dominant Species)						
3	* Acer platanoides Rhamnus sp. Acer negundo	Norway Maple Buckthorn (understory) Manitoba Maple (understory)	up to 40	Poor-Fair	To Be Removed	
4	Fraxinus pennsylvanica Populus sp.	Green Ash Poplar	up to 10 up to 20	Good Good	To Be Removed To Be Removed	
5	* Robinia pseudacacia L. Acer negundo	Black Locust Manitoba Maple	up to 25 up to 20	Fair - Good Fair - Good	To Be Removed To Be Removed	
6	* Salix sp. Acer platanoides Acer negundo Tilia americana	Willow Norway Maple Manitoba Maple Basswood	up to 30 up to 35 up to 15 up to 20	Varies Fair Fair Varies	To Be Removed Within Property To Be Removed Within Property To Be Removed Within Property To Be Removed Within Property	
7	Betula sp. Picea sp.	Birch Spruce	up to 30 up to 30	Varies Varies	To Be Removed to Limit of Construction To Be Removed to Limit of Construction	
8	Salix sp. Pinus sylvestris Picea sp.	Willow Scots Pine Spruce	up to 10 up to 10 up to 10	Varies Good Good	To Be Removed To Be Removed To Be Removed	
9	Betula sp. Pinus sylvestris Acer platanoides Ulmus sp. Rhamnus sp.	Birch Scots Pine Norway Maple Elm Buckthorn	up to 30 up to 15 up to 10 up to 30 up to 10	Varies Varies Varies Varies Varies	To Be Removed To Be Removed To Be Removed To Be Removed To Be Removed	
10	* Salix sp. Acer platanoides Acer saccharinum Rhamnus sp. Betula sp. Ulmus sp.	Willow Norway Maple Silver Maple Buckthorn Birch Elm	up to 60 Varies Varies up to 10 Varies Varies	Varies Varies Varies Varies Varies Varies	To Be Removed To Be Removed To Be Removed To Be Removed To Be Removed To Be Removed	
11	Pinus sylvestris	Scots Pine	up to 50	Varies	To Be Removed to Limit of Construction	
12	Ulmus sp. Acer negundo	Elm Manitoba Maple	up to 40 up to 20	Varies Varies	To Be Removed To Be Removed	
13	Acer negundo	Manitoba Maple	up to 25	Varies	To Be Removed	
14	Acer negundo Acer platanoides	Manitoba Maple Norway Maple	up to 25 up to 25	Varies Varies	To Be Removed To Be Removed	
15	* Thuja sp. Populus sp.	Cedar Poplar	up to 30 up to 50	Varies Varies	To Remain To Be Removed Within Property	
16	* Picea sp. Pinus sylvestris	Spruce Scots Pine	up to 50 up to 50	Varies Varies	To Be Removed Within Property To Be Removed Within Property	
17	Betula sp.	Birch	Varies	Varies	To Be Removed Within Property	

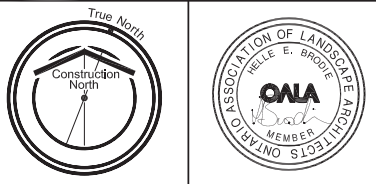


Key Plan N.T.S.

No.	Date	Revision	By
4	Jan 27/10	Drawing Coordination	HB
3	Jan 18/10	Drawing Coordination	HB
2	Jan 5/10	Drawing Coordination/ Municipal Comments	HB
1	Oct 19/09	Drawing Coordination	HB

Prime Consultant: Traugott Building Contractors Inc.
95 Thompson Drive
Cambridge, Ontario
N1T 2E4

CM Consultant: The Odan/Detech Group
5230 South Service Road,
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Tel. (416) 778-7876 • Fax (416) 778-7874
e-mail: design@brodie.on.ca

Project: **Commercial Development**

1875-1913 Lansdowne Street W.
Peterborough, Ontario

Title: Tree Inventory

Scale: 1:750	Date: Nov. 2008
Designed: JB	Drawn: JB
Job No.: 08-37	Drawing No.: T-1



THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING THE WORK THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUT, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.

EXISTING FOR CONVALESCENCE INFORMATION SUPPLIED BY SHERIFF VAN ROOYEN AND CLERK

BENCH MARK:

LOCATION :
BREALEY DRIVE JUST SOUTH OF LANSLOWNE STREET WEST

PUBLISHED ELEVATION = 258.720 metres.

LIMIT OF LANSOWNE STREET WEST AS SHOWN ON LAND PLAN 88027(P-2954-22),
HAVING A BEARING OF N71°50'00"E

METRIC NOTE:

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NO	REVISIONS	DATE	BY
----	-----------	------	----

SCALE: _____

DRAWING : EROSION AND SEDIMENT

CONTROL PLAN

CLIENT: GOLDMAN CO

Toronto, Ontario M3C 2E9

Fax: (410) 591-0580

COMMERCIAL DEVELOPMENT

1875-1913 LANSDOWNE STREET W.
PETERBOROUGH ONTARIO

QUANTILIC

THE GRADUATE SCHOOL OF CONSTRUCTING ENGINEERS

OFF: (905) 632-3811 FAX: (905) 632-3363

1:500	08223	SEPT 2008	J.K.
-------	-------	-----------	------

08223-ESCTC.DWG

D.C.S.




ESC

FILE NUMBER	ENGINEER	10
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SIGNATURE

THE MUNICIPALITY OF THAMES CENTRE

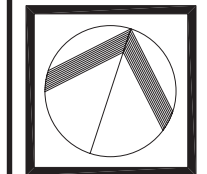
CLERK

MAYOR

DATE: _____ 20__

NOTE: THE DIMENSIONS, AREAS AND LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY BE SLIGHTLY ALTERED IN THE FINAL DESIGN, PROVIDING THE INTENT AND PURPOSE OF THE ORIGINAL PLAN IS MAINTAINED AND ALL RELEVANT ZONING PROVISIONS COMPLIED WITH. FURTHER AND NOTWITHSTANDING ANYTHING SHOWN ON THIS PLAN TO THE CONTRARY, ALL SITE SERVICING, GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH PLANS APPROVED BY THE ENGINEER

2	JAN.08/10	RE-ISSUED FOR SPA	M.H
1	NOV.17/08	ISSUED FOR SPA	M.H
#	Date	Revision	By



h

HAMMERSCHLAG + JOFFE INC.

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F: (416) 444.1463
E: dwg@hamjof.com

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Building Contractors Inc.
95 Thompson Drive, Cambridge, Ontario N1T 2E4
Tel. 519.740.9444 Fax 519.740.9777

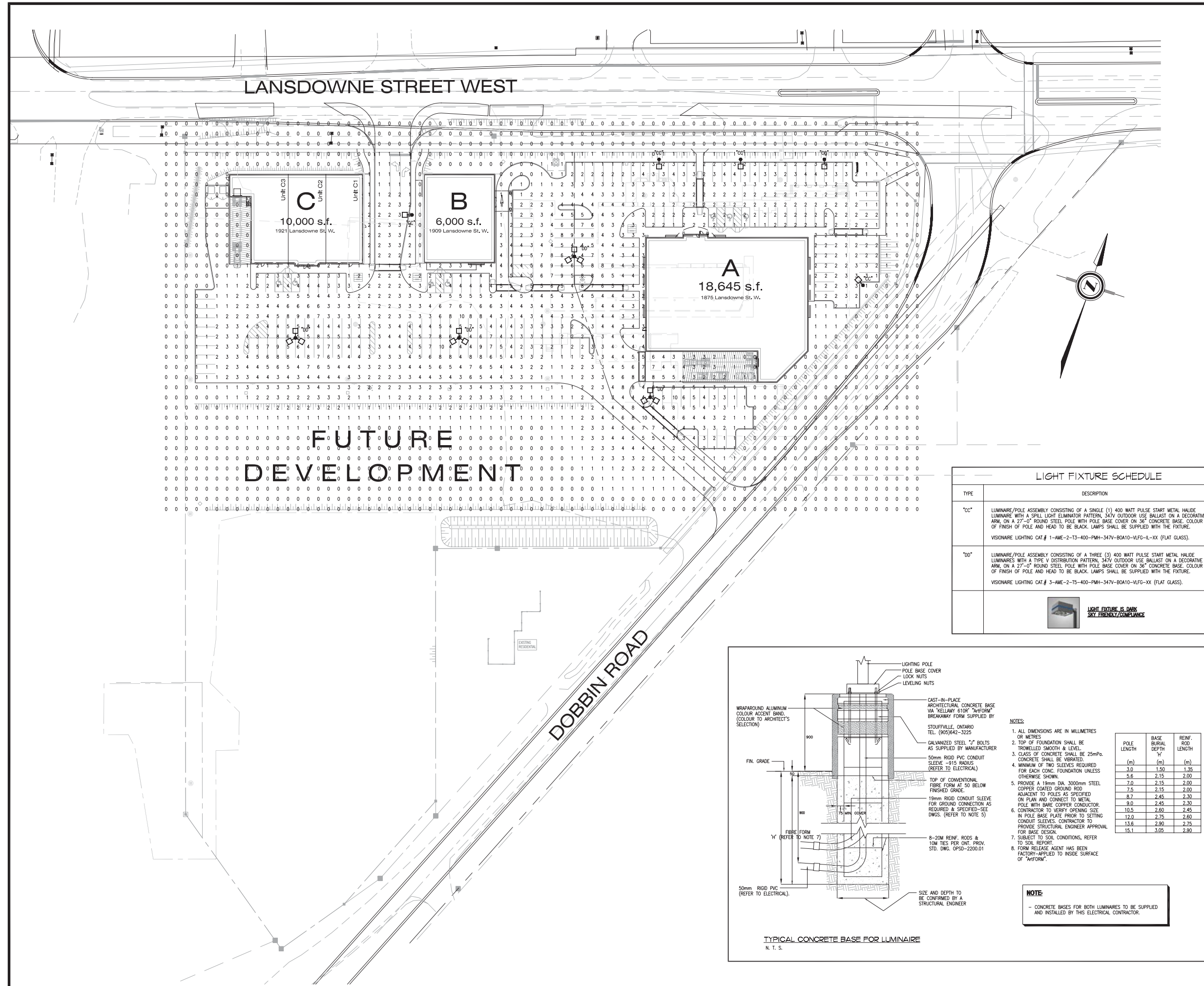
Goldmanco
75 The Donway West, Suite 1002
Toronto, Ontario M3C 2E9
Phone: (416) 445-1107
Fax: (416) 391-0586

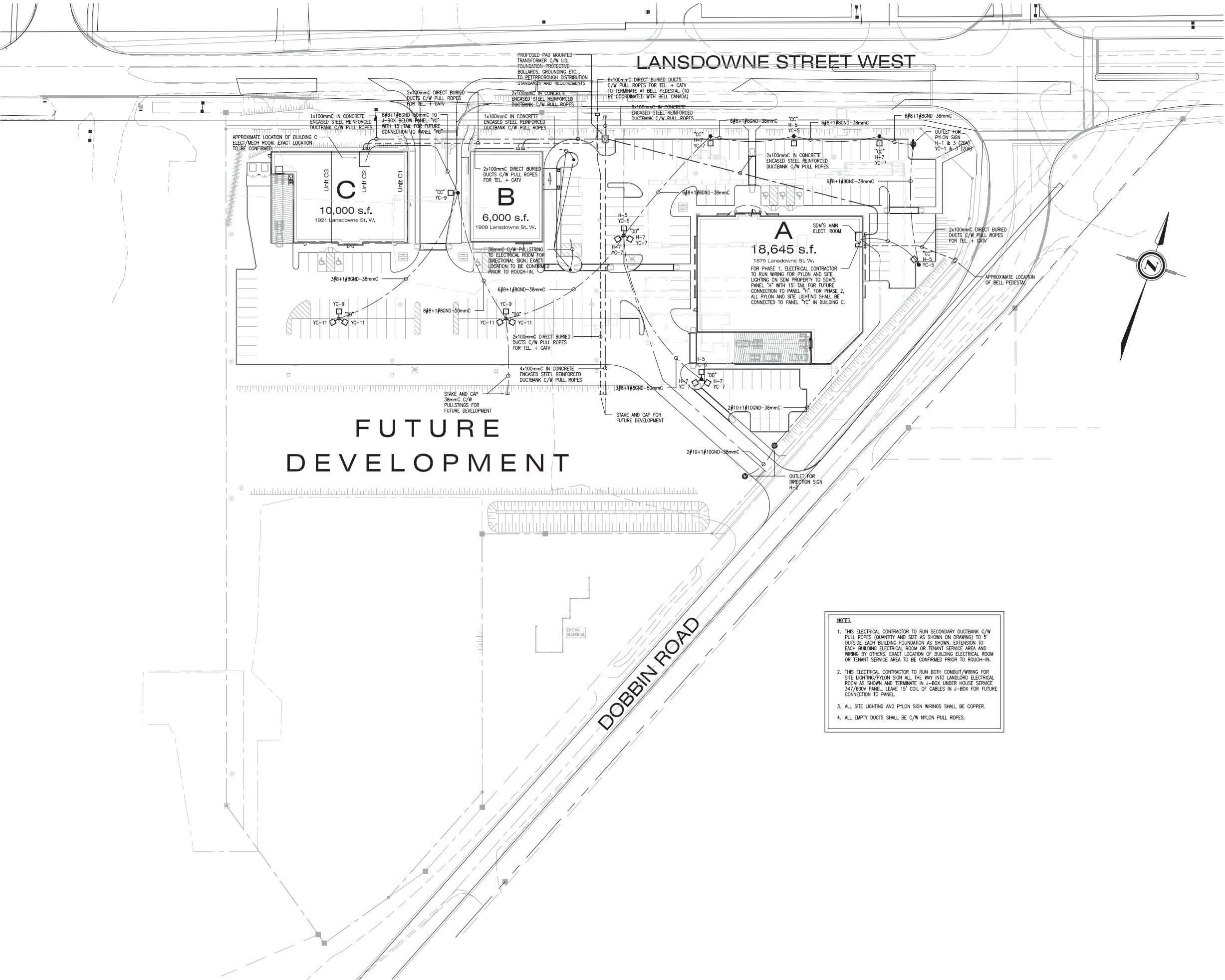
COMMERCIAL DEVELOPMENT
1875-1913 LANSDOWNE STREET W.
PETERBOROUGH, ONTARIO

PHOTOMETRIC SITE PLAN AND DETAILS

Drawn by:	J.T
Checked by:	M.H
Scale:	1 : 500
Date:	JANUARY 2010
Job no.:	08-391

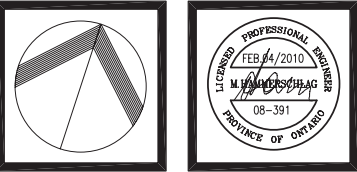
ESP |





NOTE: THE DIMENSIONS, AREAS AND LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY BE SLIGHTLY ALTERED IN THE FINAL DESIGN. PROVIDING THE INTENT AND PURPOSE OF THE ORIGINAL PLAN IS MAINTAINED AND ALL RELEVANT ZONING PROVISIONS COMPLIED WITH, FURTHER AND NOTWITHSTANDING ANYTHING SHOWN ON THIS PLAN TO THE CONTRARY, ALL SITE SERVISING, GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH PLANS APPROVED BY THE ENGINEER

#	Date	Revision	By
4	FEB.04/10	ISSUED	M.H
3	FEB.01/10	ISSUED	M.H
2	JAN.08/10	ISSUED	M.H
1	DEC.23/08	ISSUED FOR COORDINATION	M.H

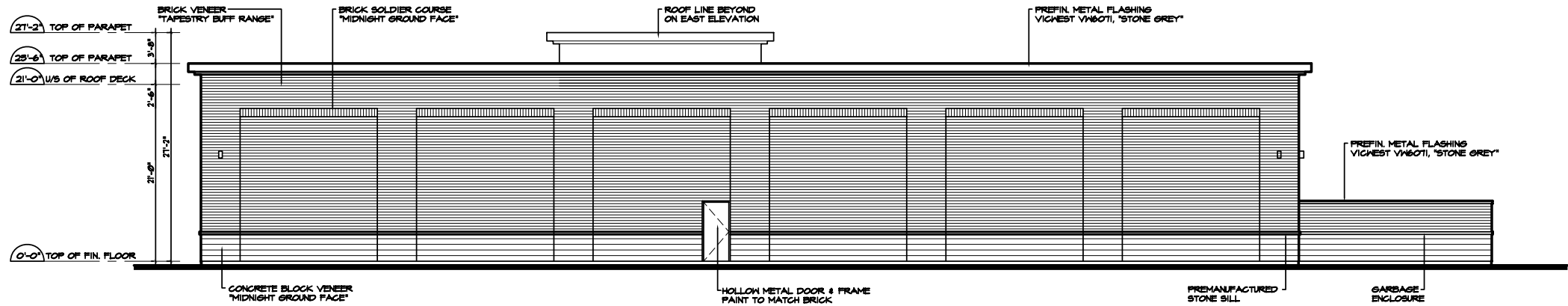


h HAMMERSCHLAG + JOFFE INC.
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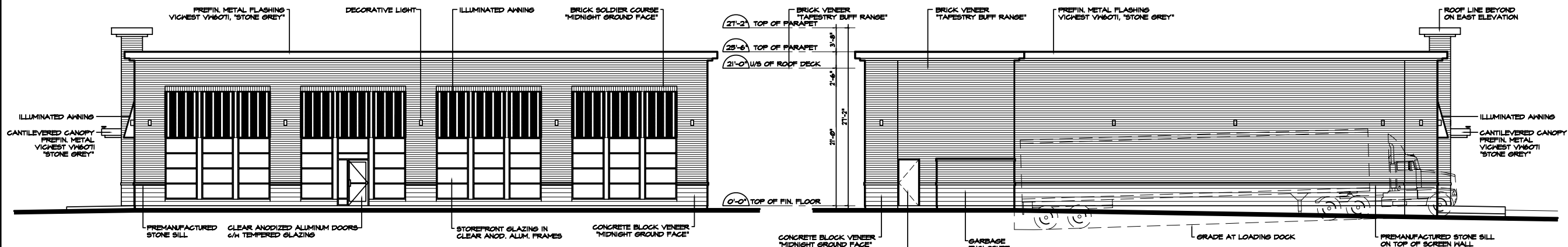
Traugott
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COMMERCIAL DEVELOPMENT 1875-1913 LANSDOWNE STREET W. PETERBOROUGH, ONTARIO		
ELECTRICAL SITE PLAN AND NOTES		
Drawn by:	J.T	ES2
Checked by:	M.H	
Scale:	1 : 500	
Date:	JANUARY 2010	
Job no.:	08-391	

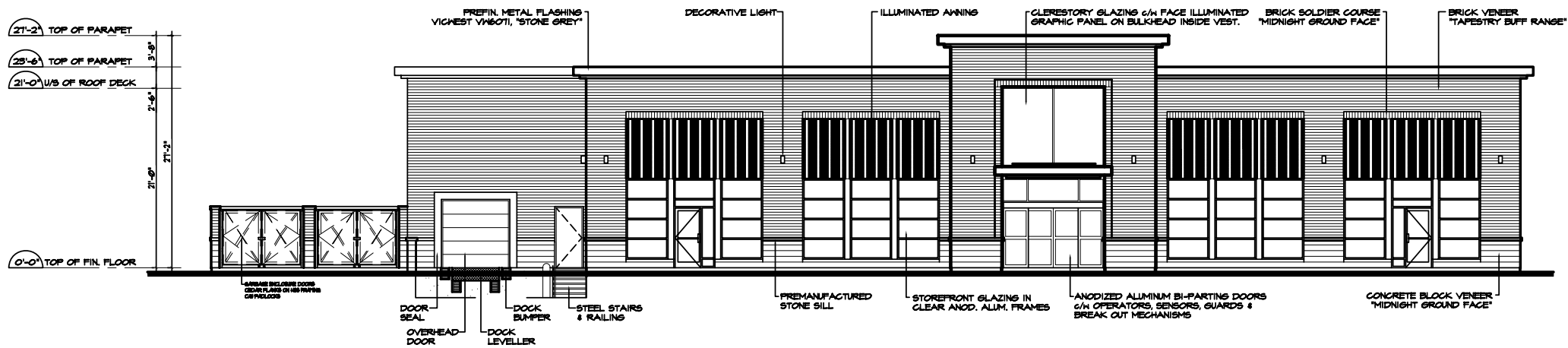


4 NORTH ELEVATION - BUILDING 'C'
A-3c 1/8" = 1'-0"



2 EAST ELEVATION - BUILDING 'C'
A-3c 1/8" = 1'-0"

3 WEST ELEVATION - BUILDING 'C'
A-3c 1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING 'C'
A-3c 1/8" = 1'-0"

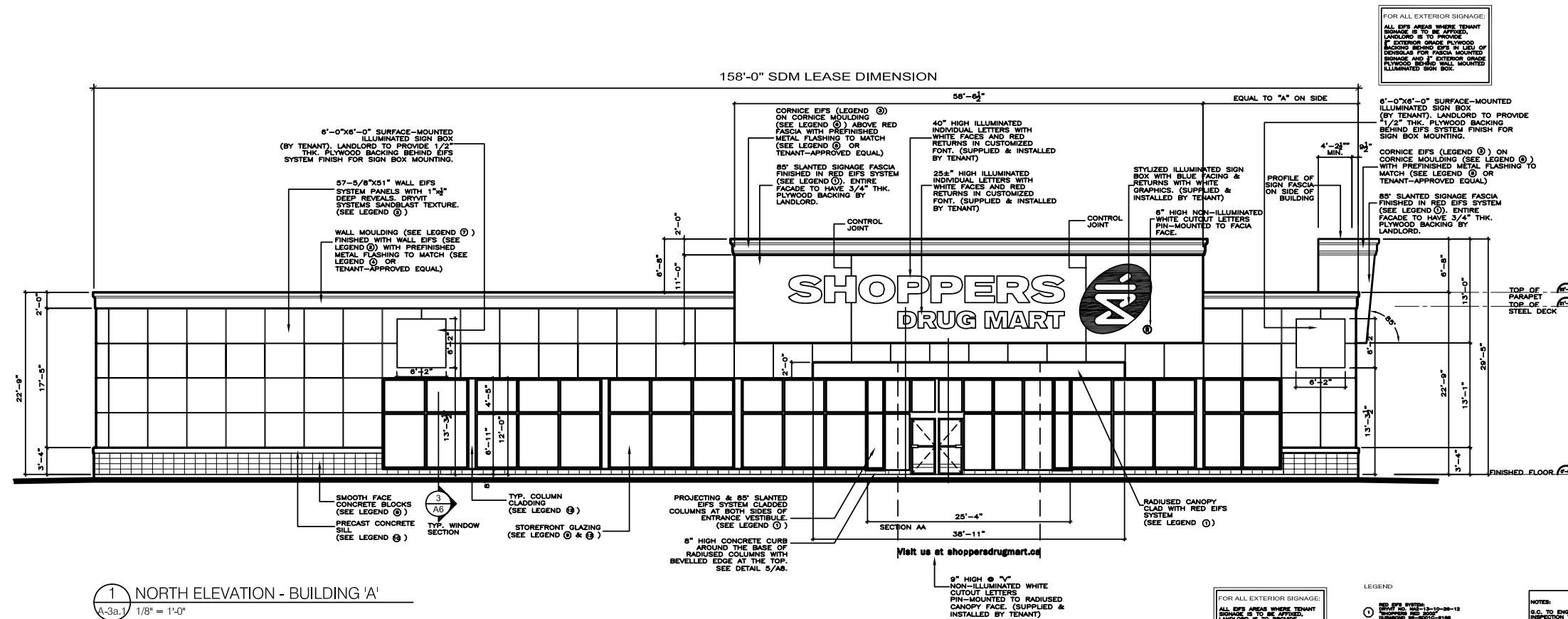
#	Date	Revision	By
1	14/10/09	General Revisions	G.B.



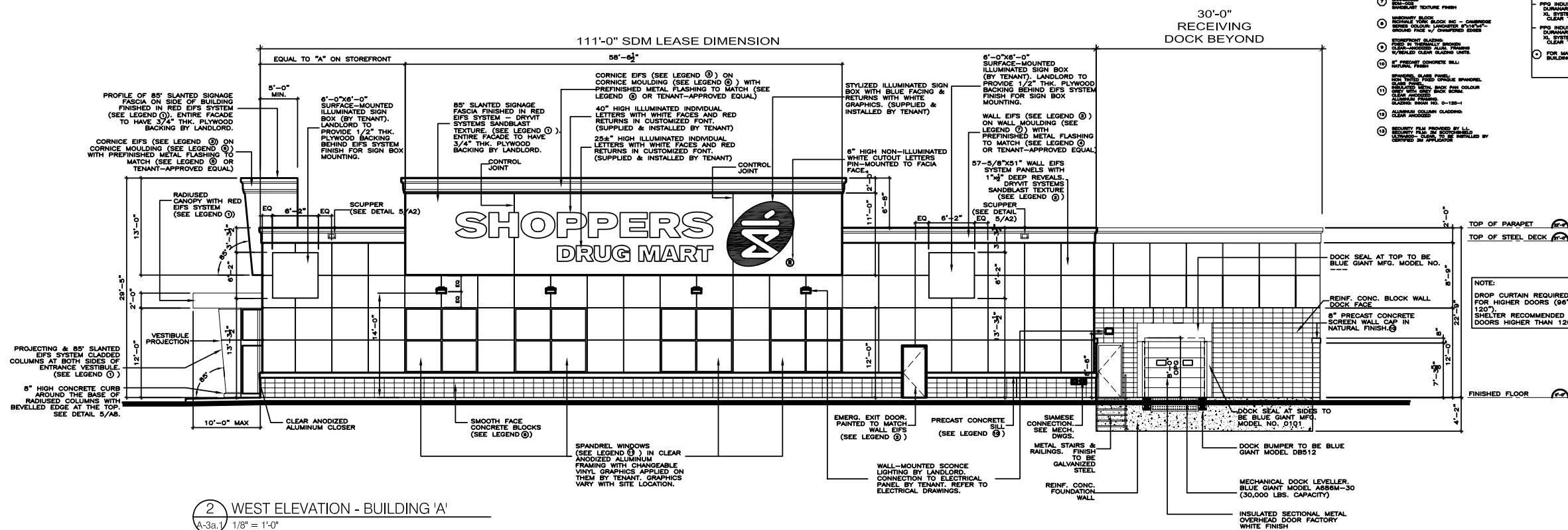
Traugott
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COMMERCIAL DEVELOPMENT 1875-1913 LANSDOWNE ST. W. PETERBOROUGH, ONTARIO		
BUILDING 'C' EXTERIOR ELEVATIONS		
Drawn by:	G.B.	A-3c
Checked by:		
Scale:	1/8" = 1'-0"	
Date:	October 14, 2009	
Job no.:	740	



1 NORTH ELEVATION - BUILDING 'A'
A-3a.1 1/8" = 1'-0"



2 WEST ELEVATION - BUILDING 'A'

1	14/10/09	General Revisions	G.B.
#	Date	Revision	By




Traugott
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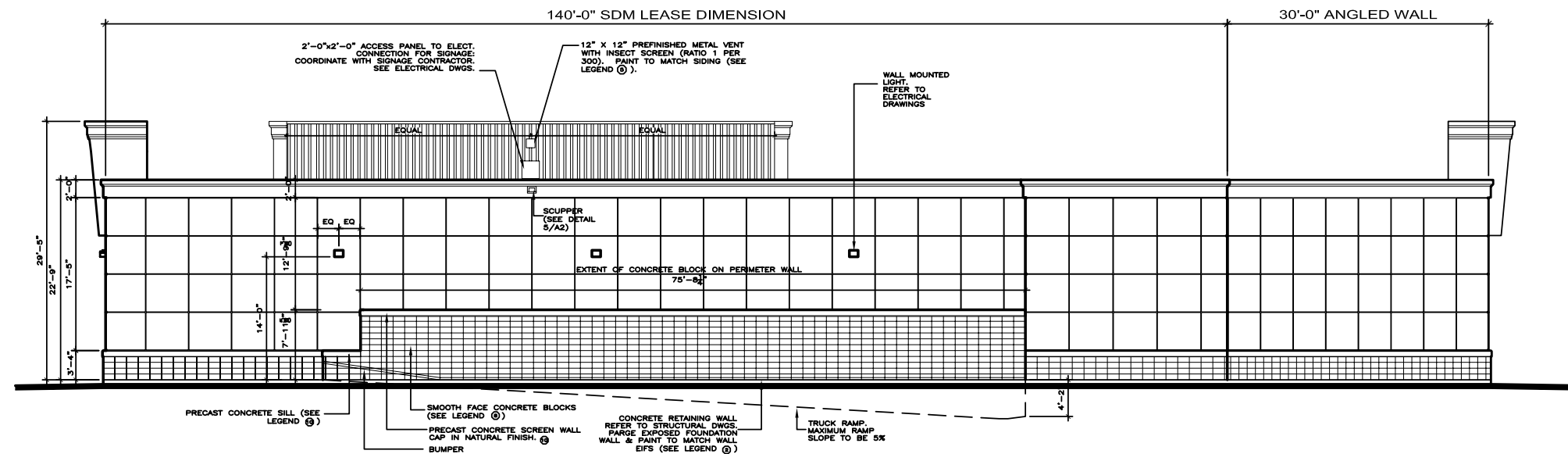
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Fax: (416) 391-0586

COMMERCIAL DEVELOPMENT
1875-1913 LANSDOWNE ST. W.
PETERBOROUGH, ONTARIO

BUILDING 'A'
EXTERIOR ELEVATIONS

Drawn by:	G.B.	A-3a.1
Checked by:		
Scale:	1/8" = 1'-0"	
Date:	October 14, 2009	
Job no.:	740	

A-3a.1



1 SOUTH ELEVATION - BUILDING 'A'

FOR ALL EXTERIOR SIGNAGE:
ALL EIFS AREAS WHERE TENANT SIGNAGE IS TO BE AFFIXED, LANDLORD IS TO PROVIDE:
1" EXTERIOR GRADE PLYWOOD BACKING BEHIND EIFS IN LIEU OF DOWNGRADES FOR FASCIA MOUNTED SIGNAGE AND 1" EXTERIOR GRADE PLYWOOD BEHIND WALL MOUNTED ILLUMINATED SIGN BOX.

- [illegible]

NOTES:

Q1. TO ENGAGE A QUALIFIED INSPECTION TESTING COMPANY TO INVESTIGATE THE CAUSE OF THE FAILURE, THE SYSTEM IS BUILT CORRECTLY IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS.

Q2. APPROX TO BE INCLUDED ON THE DRAWING TO INDICATE THE REGION OF THE FAILURE.

Q3. SAMPLES TO BE APPROVED BY IDW PROJECT MANAGER TO RETAIN FOR FURTHER ANALYSIS.

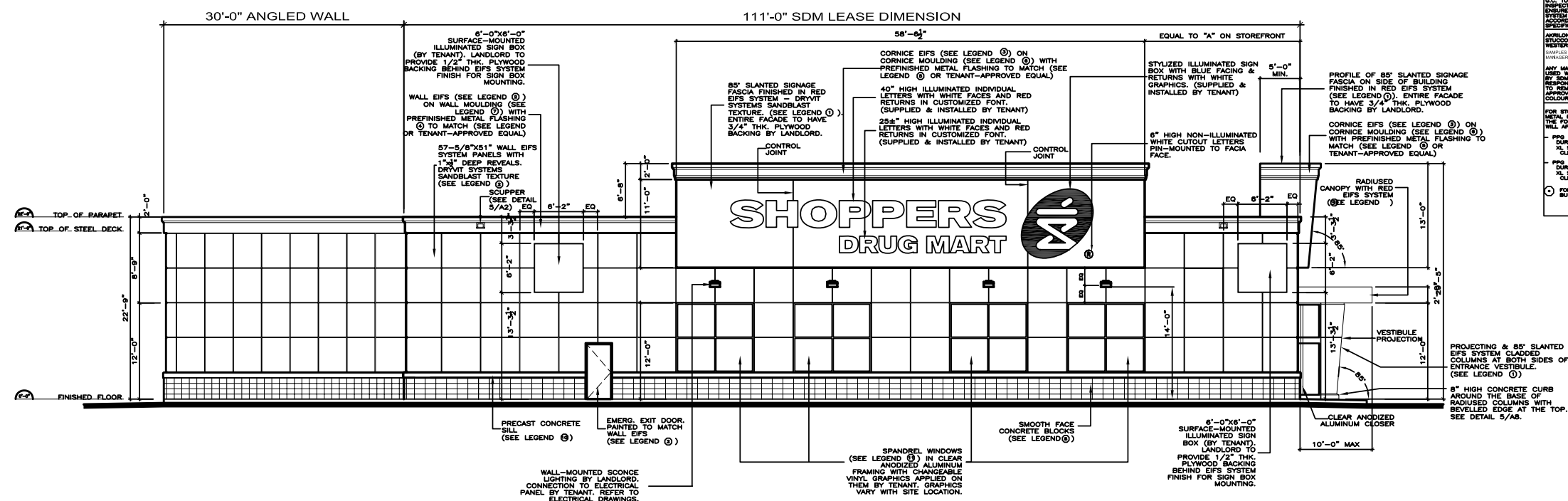
Q4. ANY MATERIALS AND COLOURS USED WHICH ARE NOT APPROVED BY IDW PROJECT MANAGER ARE THE RESPONSIBILITY OF THE LANDOWNER. APPROVED MATERIALS AND COLOURS WITH APPROVED MATERIALS AND COLOURS.

Q5. FOR STORE LOCATIONS WHERE THE MATERIAL ARE CALLED FOR THE FOLLOWING SPECIFICATIONS ARE TO BE USED:

Q6. FPG INDUSTRIES UA6282XZL DURNANER EXOTIC RED
1000000000 W/ UC51132
CLEAR TOP COAT

Q7. FPG INDUSTRIES UC51131XZL DURNANER XL SILVER
1000000000 W/ UC51132
CLEAR TOP COAT

Q8. FOR MATERIAL LOCATIONS



2 EAST ELEVATION - BUILDING 'A'

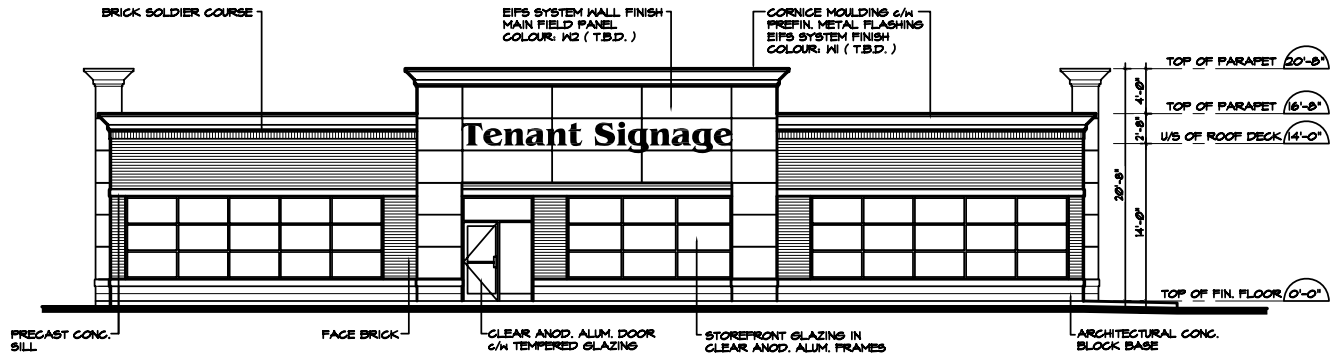
1	14/10/09	General Revisions	G.B.
#	Date	Revision	By



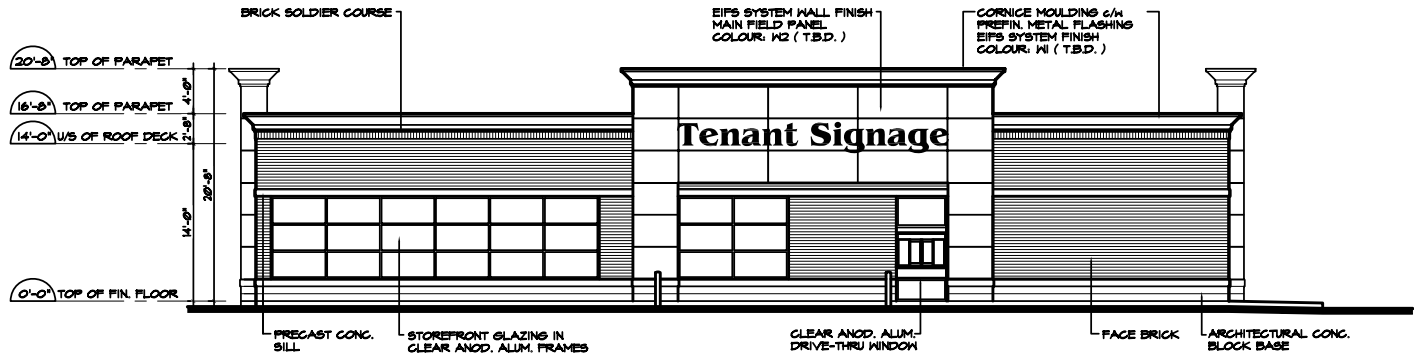

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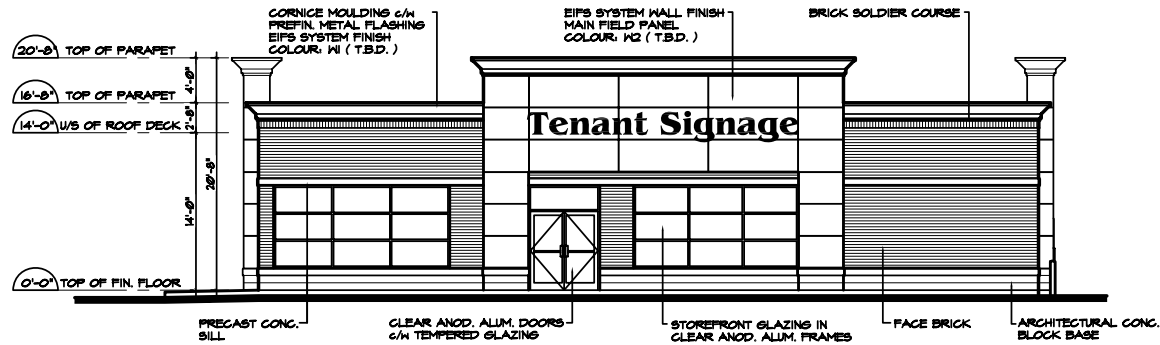
COMMERCIAL DEVELOPMENT 1875-1913 LANSDOWNE ST. W. PETERBOROUGH, ONTARIO	
BUILDING 'A' EXTERIOR ELEVATIONS	
Drawn by: G.B.	A-3a.2
Checked by:	
Scale: 1/8" = 1'-0"	
Date: October 14, 2009	
Job no.: 740	



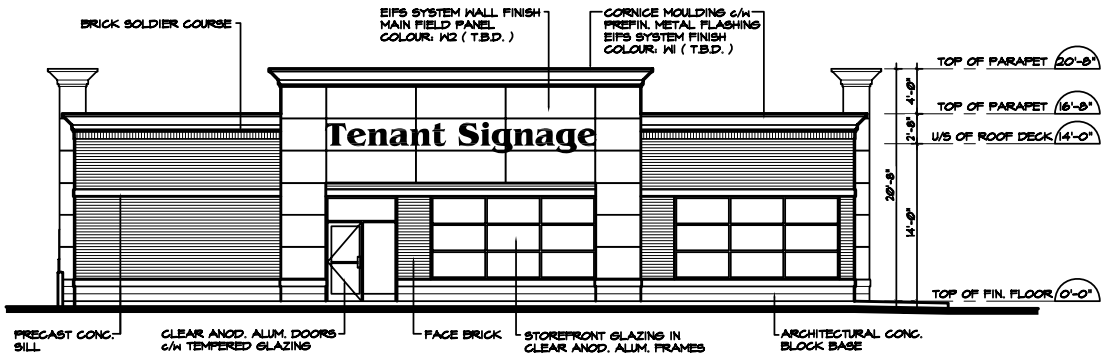
3 WEST ELEVATION - BUILDING 'B'
A-3b 1/8" = 1'-0"



2 EAST ELEVATION - BUILDING 'B'
A-3b 1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING 'B'
A-3b 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING 'B'
A-3b 1/8" = 1'-0"

#	Date	Revision	By
1	14/10/09	General Revisions	G.B.



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COMMERCIAL DEVELOPMENT
1875-1913 LANSDOWNE ST. W.
PETERBOROUGH, ONTARIO

BUILDING 'B'
EXTERIOR ELEVATIONS

Drawn by:	G.B.
Checked by:	
Scale:	1/8" = 1'-0"
Date:	October 14, 2009
Job no.:	740

A-3b