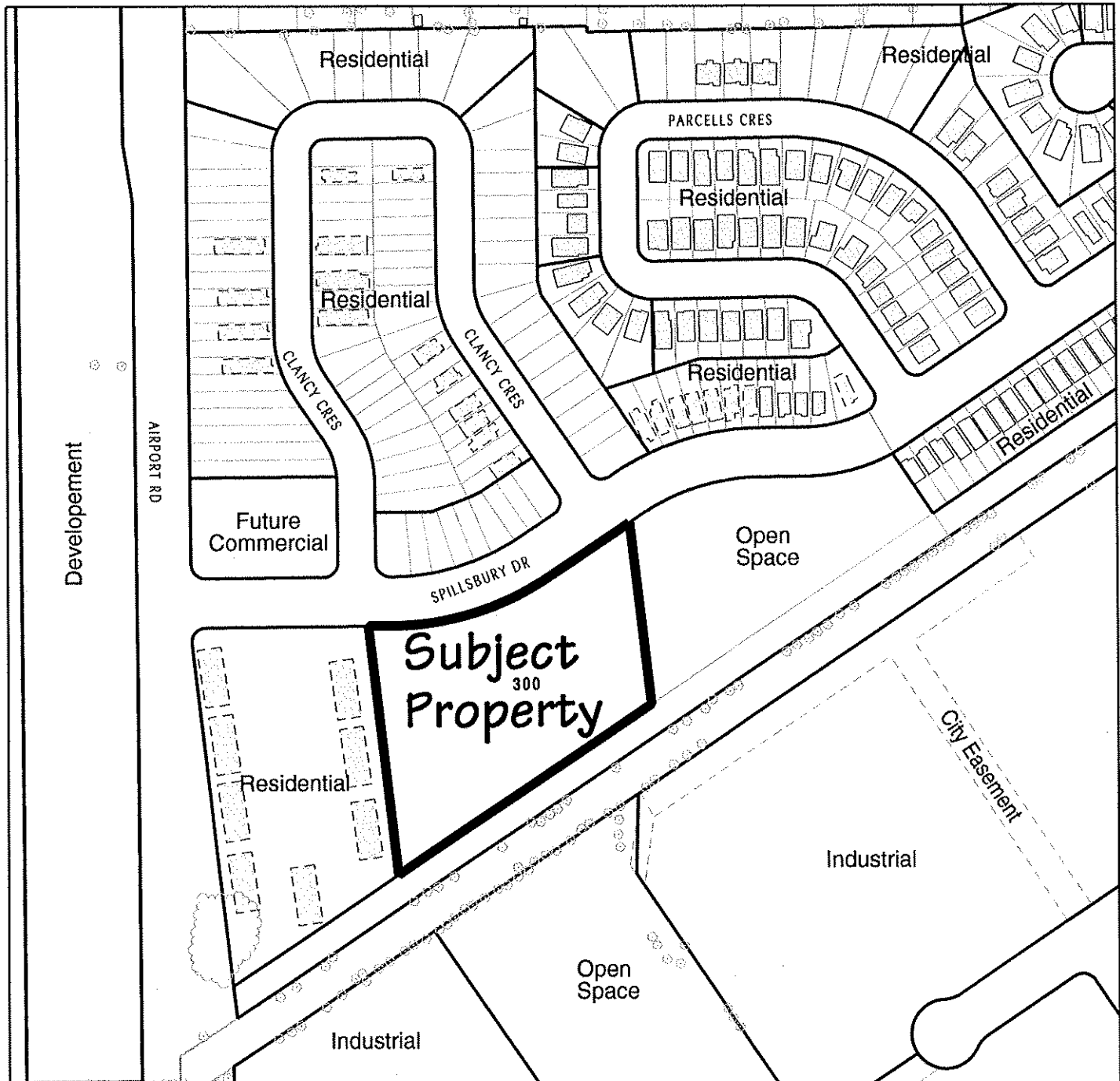


Land Use Map

File # 15 CDM 07-501

Property Location: 300 Spillsbury Dr

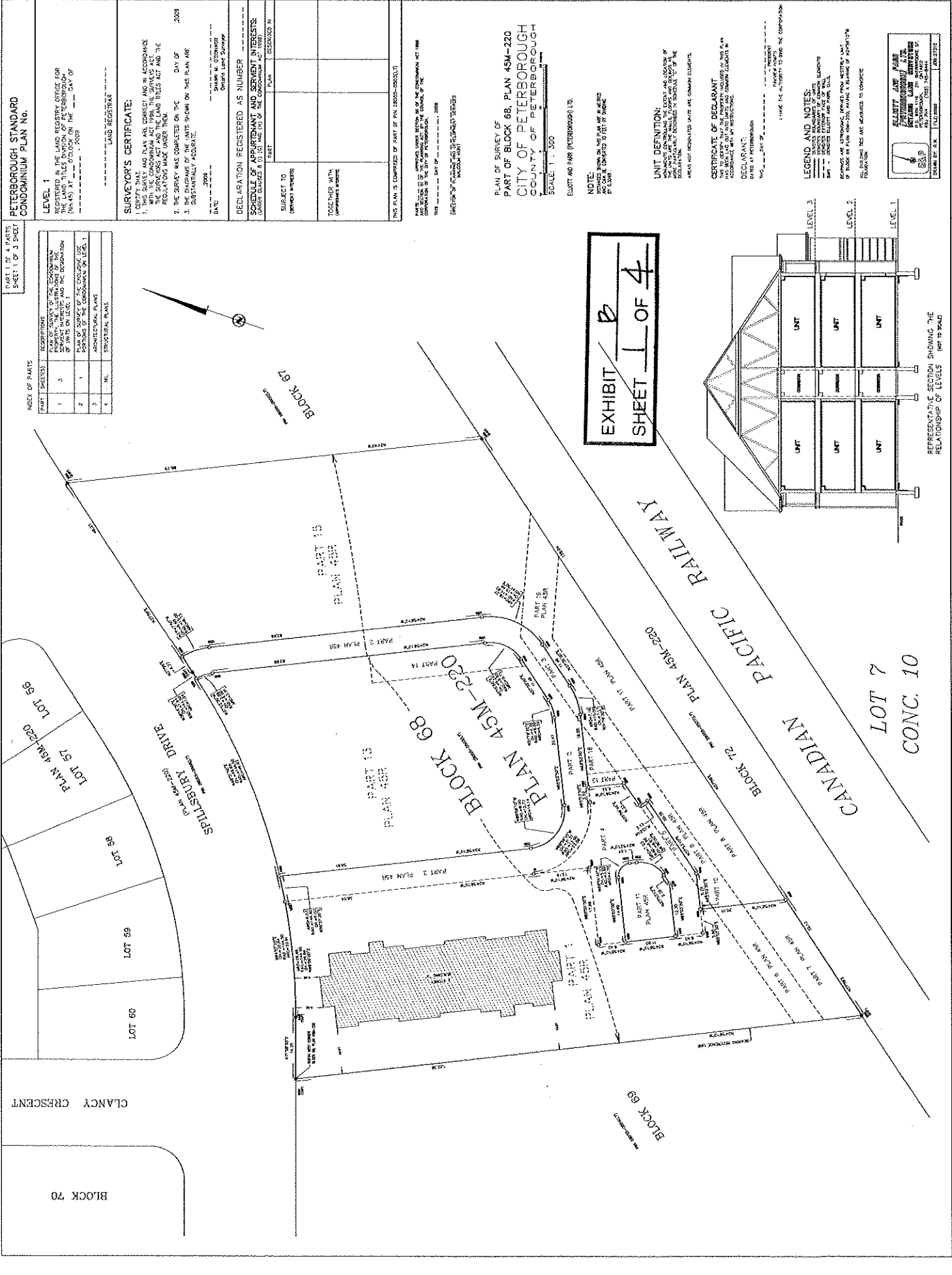


The City of Peterborough Planning Division

The "City of Peterborough," its employees, or agents, do not undertake to guarantee the validity of the contents of this digital or hardcopy mapfile, and will not be liable for any claims for damages or loss arising from their application or interpretation, by any party. It is not intended to replace a survey or to be used for legal description.



Date - February 2007
Dwg. by - CBerry
Scale - 1:3000



PART 1 OF 4 PARTS
SHEET 1 OF 3 SHEET

INDEX OF PARTS

PART	SHEET(S)	DESCRIPTION
1	3	PLAN OF SURVEY OF THE CONDOMINIUM UNIT, INCLUDING THE UNIT AND THE COMMON ELEMENTS OF THE CONDOMINIUM
2	1	PLAN OF SURVEY OF THE CONDOMINIUM UNIT, INCLUDING THE UNIT AND THE COMMON ELEMENTS OF THE CONDOMINIUM
3	1	PLAN OF SURVEY OF THE CONDOMINIUM UNIT, INCLUDING THE UNIT AND THE COMMON ELEMENTS OF THE CONDOMINIUM
4	1	ARCHITECTURAL PLAN

PETERBOROUGH STANDARD CONDOMINIUM PLAN No.

LEVEL 1

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE PROVINCE OF ONTARIO ON THE DAY OF 2008 AT 1:00 PM

LAND REGISTRY

SURVEYOR'S CERTIFICATE:

THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1981, AND THE REGULATIONS MADE UNDER THEM.

THE SURVEY WAS COMPLETED ON THE DAY OF 2008

3. THE DIAGRAM OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: 2008

SHAWN M. COCHRAN
Ontario Land Surveyor

DECLARATION REGISTERED AS NUMBER

SCHEDULE OF APPOINTMENT AND SERVICE OF NOTICE:

PART	PLAN	REGISTERED IN

TOGETHER WITH
COMPARATIVE MAPS

THIS PLAN IS COMPILED OF PART OF PIN 45M-220-0003-01

PART 1 OF 4 PARTS
SHEET 1 OF 3 SHEET

PLAN OF SURVEY OF
PART OF BLOCK 68, PLAN 45M-220
CITY OF PETERBOROUGH
COUNTY OF PETERBOROUGH

SCALE: 1" = 500'

ELIOTT AND PAIR (PETERBOROUGH) LTD.

NOTE:

THE SURVEYOR HAS BEEN ADVISED BY THE APPLICANT THAT THE UNITS AND COMMON ELEMENTS SHOWN ON THIS PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1981, AND THE REGULATIONS MADE UNDER THEM.

UNIT DEFINITION:

UNITS: 1. THE UNITS SHOWN ON THIS PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1981, AND THE REGULATIONS MADE UNDER THEM.

CERTIFICATE OF DECLARANT

I, THE DECLARANT, DO HEREBY CERTIFY THAT THE UNITS AND COMMON ELEMENTS SHOWN ON THIS PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1981, AND THE REGULATIONS MADE UNDER THEM.

DATE: 2008

ELIOTT AND PAIR (PETERBOROUGH) LTD.

LEGEND AND NOTES:

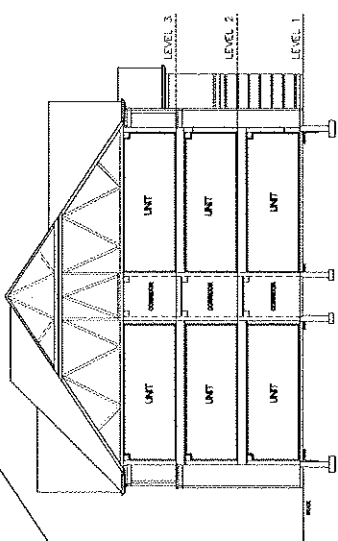
— UNITS
— COMMON ELEMENTS
— EXISTING STREETS, ALLEYS, AND HIGHWAYS
— EXISTING UTILITIES
— EXISTING ELEVATION AND PAIR, TOLL

REMARKS: THE UNITS SHOWN ON THIS PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT, 1981, AND THE REGULATIONS MADE UNDER THEM.

DATE: 2008

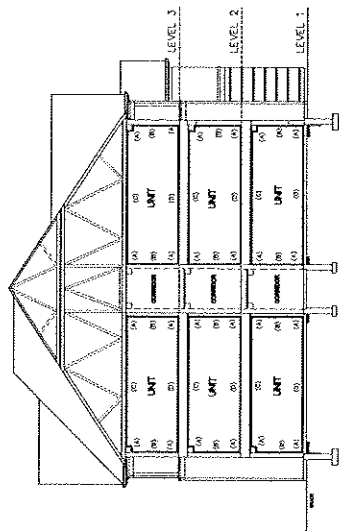
ELIOTT AND PAIR (PETERBOROUGH) LTD.

EXHIBIT B
SHEET 1 OF 4

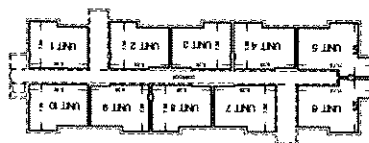


REPRESENTATIVE SECTION SHOWING THE RELATIONSHIP OF LEVELS (NOT TO SCALE)

LOT 2
CONC. 10

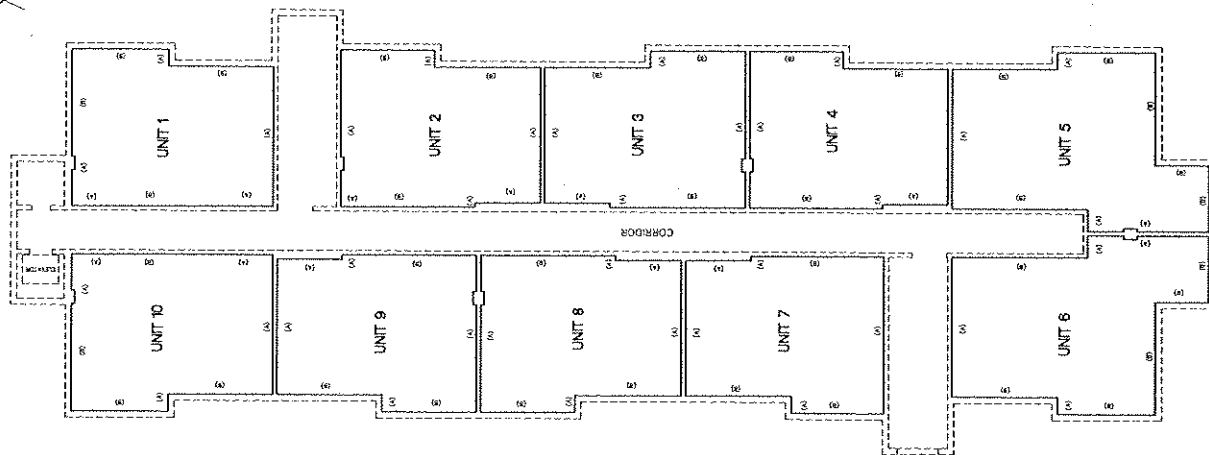


VERTICAL REPRESENTATIVE SECTION SHOWING THE TYPICAL UNIT BOUNDARIES FOR LEVELS 2 AND 3 (UNITS 1 TO 10) (NOT TO SCALE)



LEVELS 2 AND 3 (UNITS 1 TO 10)

SCALE: 1" = 300'



HORIZONTAL REPRESENTATIVE SECTION SHOWING THE TYPICAL UNIT BOUNDARIES FOR LEVELS 2 AND 3 (UNITS 1 TO 10) (NOT TO SCALE)

PETERBOROUGH STANDARD
CONDOMINIUM PLAN No.

LEVEL 2
UNITS 1 TO 10 INCLUSIVE

LEVEL 3
UNITS 1 TO 10 INCLUSIVE

REGISTERED IN THE LAND REGISTRY OFFICE FOR
PETERBOROUGH, ONTARIO, IN THE DISTRICT OF
(No. 45) AT _____ O'CLOCK ON THE _____ DAY OF
_____, 2009

LAND REGISTRY

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT: 1. THE SURVEY WAS MADE IN ACCORDANCE WITH THE CONDOMINIUM ACT, THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM; 2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2009; 3. SUBSTANTIAL ACCURACY.

DATE: _____

Surveyor's Name
Ontario Land Surveyor

PLAN OF SURVEY OF
PART OF BLOCK 68, PLAN 45M-220
CITY OF PETERBOROUGH
COUNTY OF PETERBOROUGH
SCALE: 1" = 300'

PLAN OF SURVEY OF
PART OF BLOCK 68, PLAN 45M-220
CITY OF PETERBOROUGH
COUNTY OF PETERBOROUGH
SCALE: 1" = 300'

BLUETT AND PAIR (PETERBOROUGH) LTD.

NOTE:
BEARING FROM THE PLAN ARE IN DEGREES
MINUTES AND SECONDS TO THE NEAREST
SECOND.

UNIT DEFINITION:

THE UNIT DEFINITION IS THE ENTIRE AND EXCLUSIVE
RIGHT OF THE UNIT PROPRIETOR TO USE AND ENJOY THE
UNIT AND ITS APPURTENANCES, INCLUDING THE RIGHT OF
EXCLUSION.

AREAS NOT DESIGNATED UNITS ARE COMMON ELEMENTS.

A = ROUTED SURFACE AND PLANE OF OFFICIAL PLANNING;

B = DOOR AND WINDOW FRAMES AND ALL PLANT MATERIAL;

C = BUILDING INFRASTRUCTURE AND PLANE OF OFFICIAL CEILING;

D = ROOFED UNITS SURFACE AND PLANE OF PLYWOOD FLOOR SLAB

CERTIFICATE OF DECLARANT

I, _____, OF THE CITY OF PETERBOROUGH, ONTARIO, DO HEREBY
DECLARE THAT THE UNIT AND ITS APPURTENANCES ARE
IN ACCORDANCE WITH THE CONDOMINIUM ACT AND THE
REGULATIONS MADE UNDER THEM.

DECLARANT:

DATE: _____

THIS _____ DAY OF _____, 2009

Signature of Declarant

LEGEND AND NOTES:

--- BOUNDARY OF COMMON ELEMENTS

--- BOUNDARY OF UNIT

--- BOUNDARY OF COMMON ELEMENTS

--- BOUNDARY OF UNIT

--- BOUNDARY OF COMMON ELEMENTS

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--- BOUNDARY OF UNIT

--- BOUNDARY OF COMMON ELEMENTS

--- BOUNDARY OF UNIT

EXHIBIT
SHEET -

NOTE:
ESTIMATES SHOWN ON THIS PLAN ARE IN METERS
AND CAN BE CONVERTED TO FEET BY DIVIDING
BY 0.3048.

PLAN OF SURVEY OF THE
EXTENT AND LOCATION OF
EXCLUSIVE USE PORTIONS
OF THE COMMON ELEMENTS
ON LEVEL 1

CLYDE W. CLYDE (PETERBOROUGH) LTD.

SURVEYOR'S CERTIFICATE:

THESE DATA INDICATE THAT THE PLAN OF SURVEY ACCURATELY SHOWS THE LOCATION AND LOCATION OF THE EXISTING LOT BOUNDARIES.

1950 1949 1948 1947 1946 1945 1944 1943 1942 1941 1940 1939 1938 1937 1936 1935 1934 1933 1932 1931 1930 1929 1928 1927 1926 1925 1924 1923 1922 1921 1920 1919 1918 1917 1916 1915 1914 1913 1912 1911 1910 1909 1908 1907 1906 1905 1904 1903 1902 1901 1900 1899 1898 1897 1896 1895 1894 1893 1892 1891 1890 1889 1888 1887 1886 1885 1884 1883 1882 1881 1880 1879 1878 1877 1876 1875 1874 1873 1872 1871 1870 1869 1868 1867 1866 1865 1864 1863 1862 1861 1860 1859 1858 1857 1856 1855 1854 1853 1852 1851 1850 1849 1848 1847 1846 1845 1844 1843 1842 1841 1840 1839 1838 1837 1836 1835 1834 1833 1832 1831 1830 1829 1828 1827 1826 1825 1824 1823 1822 1821 1820 1819 1818 1817 1816 1815 1814 1813 1812 1811 1810 1809 1808 1807 1806 1805 1804 1803 1802 1801 1800 1799 1798 1797 1796 1795 1794 1793 1792 1791 1790 1789 1788 1787 1786 1785 1784 1783 1782 1781 1780 1779 1778 1777 1776 1775 1774 1773 1772 1771 1770 1769 1768 1767 1766 1765 1764 1763 1762 1761 1760 1759 1758 1757 1756 1755 1754 1753 1752 1751 1750 1749 1748 1747 1746 1745 1744 1743 1742 1741 1740 1739 1738 1737 1736 1735 1734 1733 1732 1731 1730 1729 1728 1727 1726 1725 1724 1723 1722 1721 1720 1719 1718 1717 1716 1715 1714 1713 1712 1711 1710 1709 1708 1707 1706 1705 1704 1703 1702 1701 1700 1699 1698 1697 1696 1695 1694 1693 1692 1691 1690 1689 1688 1687 1686 1685 1684 1683 1682 1681 1680 1679 1678 1677 1676 1675 1674 1673 1672 1671 1670 1669 1668 1667 1666 1665 1664 1663 1662 1661 1660 1659 1658 1657 1656 1655 1654 1653 1652 1651 1650 1649 1648 1647 1646 1645 1644 1643 1642 1641 1640 1639 1638 1637 1636 1635 1634 1633 1632 1631 1630 1629 1628 1627 1626 1625 1624 1623 1622 1621 1620 1619 1618 1617 1616 1615 1614 1613 1612 1611 1610 1609 1608 1607 1606 1605 1604 1603 1602 1601 1600 1599 1598 1597 1596 1595 1594 1593 1592 1591 1590 1589 1588 1587 1586 1585 1584 1583 1582 1581 1580 1579 1578 1577 1576 1575 1574 1573 1572 1571 1570 1569 1568 1567 1566 1565 1564 1563 1562 1561 1560 1559 1558 1557 1556 1555 1554 1553 1552 1551 1550 1549 1548 1547 1546 1545 1544 1543 1542 1541 1540 1539 1538 1537 1536 1535 1534 1533 1532 1531 1530 1529 1528 1527 1526 1525 1524 1523 1522 1521 1520 1519 1518 1517 1516 1515 1514 1513 1512 1511 1510 1509 1508 1507 1506 1505 1504 1503 1502 1501 1500 1499 1498 1497 1496 1495 1494 1493 1492 1491 1490 1489 1488 1487 1486 1485 1484 1483 1482 1481 1480 1479 1478 1477 1476 1475 1474 1473 1472 1471 1470 1469 1468 1467 1466 1465 1464 1463 1462 1461 1460 1459 1458 1457 1456 1455 1454 1453 1452 1451 1450 1449 1448 1447 1446 1445 1444 1443 1442 1441 1440 1439 1438 1437 1436 1435 1434 1433 1432 1431 1430 1429 1428 1427 1426 1425 1424 1423 1422 1421 1420 1419 1418 1417 1416 1415 1414 1413 1412 1411 1410 1409 1408 1407 1406 1405 1404 1403 1402 1401 1400 1399 1398 1397 1396 1395 1394 1393 1392 1391 1390 1389 1388 1387 1386 1385 1384 1383 1382 1381 1380 1379 1378 1377 1376 1375 1374 1373 1372 1371 1370 1369 1368 1367 1366 1365 1364 1363 1362 1361 1360 1359 1358 1357 1356 1355 1354 1353 1352 1351 1350 1349 1348 1347 1346 1345 1344 1343 1342 1341 1340 1339 1338 1337 1336 1335 1334 1333 1332 1331 1330 1329 1328 1327 1326 1325 1324 1323 1322 1321 1320 1319 1318 1317 1316 1315 1314 1313 1312 1311 1310 1309 1308 1307 1306 1305 1304 1303 1302 1301 1300 1299 1298 1297 1296 1295 1294 1293 1292 1291 1290 1289 1288 1287 1286 1285 1284 1283 1282 1281 1280 1279 1278 1277 1276 1275 1274 1273 1272 1271 1270 1269 1268 1267 1266 1265 1264 1263 1262 1261 1260 1259 1258 1257 1256 1255 1254 1253 1252 1251 1250 1249 1248 1247 1246 1245 1244 1243 1242 1241 1240 1239 1238 1237 1236 1235 1234 1233 1232 1231 1230 1229 1228 1227 1226 1225 1224 1223 1222 1221 1220 1219 1218 1217 1216 1215 1214 1213 1212 1211 1210 1209 1208 1207 1206 1205 1204 1203 1202 1201 1200 1199 1198 1197 1196 1195 1194 1193 1192 1191 1190 1189 1188 1187 1186 1185 1184 1183 1182 1181 1180 1179 1178 1177 1176 1175 1174 1173 1172 1171 1170 1169 1168 1167 1166 1165 1164 1163 1162 1161 1160 1159 1158 1157 1156 1155 1154 1153 1152 1151 1150 1149 1148 1147 1146 1145 1144 1143 1142 1141 1140 1139 1138 1137 1136 1135 1134 1133 1132

LEGEND AND NOTES:

LEGEND AND NOTES:

(A) - DENOTES BOUNDARIES OF THE EXCLUSIVE USE PORTION OF THE COMMON ELEMENTS

(B) - DENOTES COMMON ELEMENTS THAT REQUIRE ACCESS TO THE COMMON ELEMENTS

(C) - DENOTES BOUNDARIES OF COMMON ELEMENTS

(D) - DENOTES EXTERIOR FACE OF WALL

(E) - DENOTES PROJECTION OF CENTRE LINE OF WALL

(F) - DENOTES INTERIOR PLANE OF ASPHALT DRIVEWAY

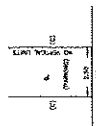
(G) - DENOTES EXTERIOR SURFACE OF ASPHALT DRIVEWAY

(H) - DENOTES EXTERIOR SURFACE OF CONCRETE PATIO AND PORCHES

(I) - PARKING NO VERTICAL LIMITS

NOTE: PARKING NO VERTICAL LIMITS

TYPICAL VERTICAL SECTION LEVEL 1
BOUNDARIES OF "EXCLUSIVE USE PARKING"
(NOT TO SCALE)



TYPICAL VERTICAL SECTION LEVEL 1
BOUNDARIES OF "EXCLUSIVE USE PATOS"
DONT TO SCALE

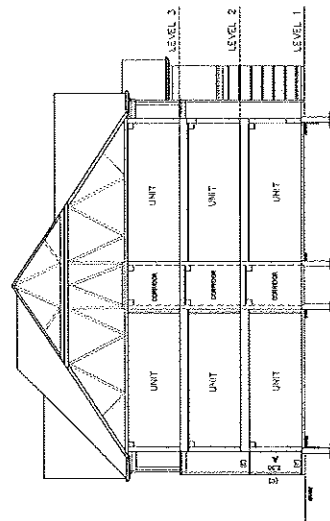


EXHIBIT	<u>C</u>
SHEET	<u>1</u> OF <u>1</u>

Page 7

20. The Owner shall provide confirmation in writing by a qualified professional engineer authorized to practise in the Province of Ontario that all site services, grading, and storm water management control measures have been implemented in accordance with the approved plan.

21. The Owner agrees to provide an AutoCAD file of the Site Plan to the satisfaction of the City's GIS/Mapping Co-ordinator, which consists of all "as constructed", information including property lines, building layout, parking lots and pavement widths. The digital data shall be compatible with the City of Peterborough digital mapping system standards, and shall be tied to the horizontal and vertical control network.

22. The Owner shall pay to the City, concurrent with the execution of this Agreement, the sum of FOURTEEN THOUSAND, EIGHT HUNDRED DOLLARS (\$14,800.00), in satisfaction of a parkland levy as prescribed pursuant to Section 42 of the *Planning Act*, R.S.O. 1990, c. P.13 and By-law Number 1990-331, of the Corporation of the City of Peterborough.

* →

23. The Owner acknowledges and agrees that no dwelling unit shall be occupied, other than pursuant to an Interim Occupancy Agreement under an Agreement of Purchase and Sale for a condominium unit.

* →

24. The Owner shall ensure that the Condominium Declaration contains a provision requiring any unit owner to obtain the written consent of the Board of Directors prior to renting the unit to any third parties.

WITNESS the respective corporate seals of the respective corporate parties hereto, duly affixed under the hands of their respective signing officers, duly authorized in that behalf.

SIGNED, SEALED AND DELIVERED
in the presence of:

812809 ONTARIO INC.

Per: PAUL DIETRICH
Name: PRESIDENT
Office:

Per: _____
Name: _____
Office: _____
I/We have authority to bind the
Corporation

THE CORPORATION OF THE
CITY OF PETERBOROUGH

D. Paul Ayotte
D. Paul Ayotte, Mayor

Nancy Wright-Laking
Nancy Wright-Laking, Clerk

which the Board, acting reasonably, considers to be a nuisance to other residents, or where the owner of the pet has, on more than one occasion, breached the Rules respecting the keeping of pets, shall be kept or allowed in or about any unit or within or upon the property after the expiration of notice from the Board that such animal or pet is required to be permanently removed from the property.

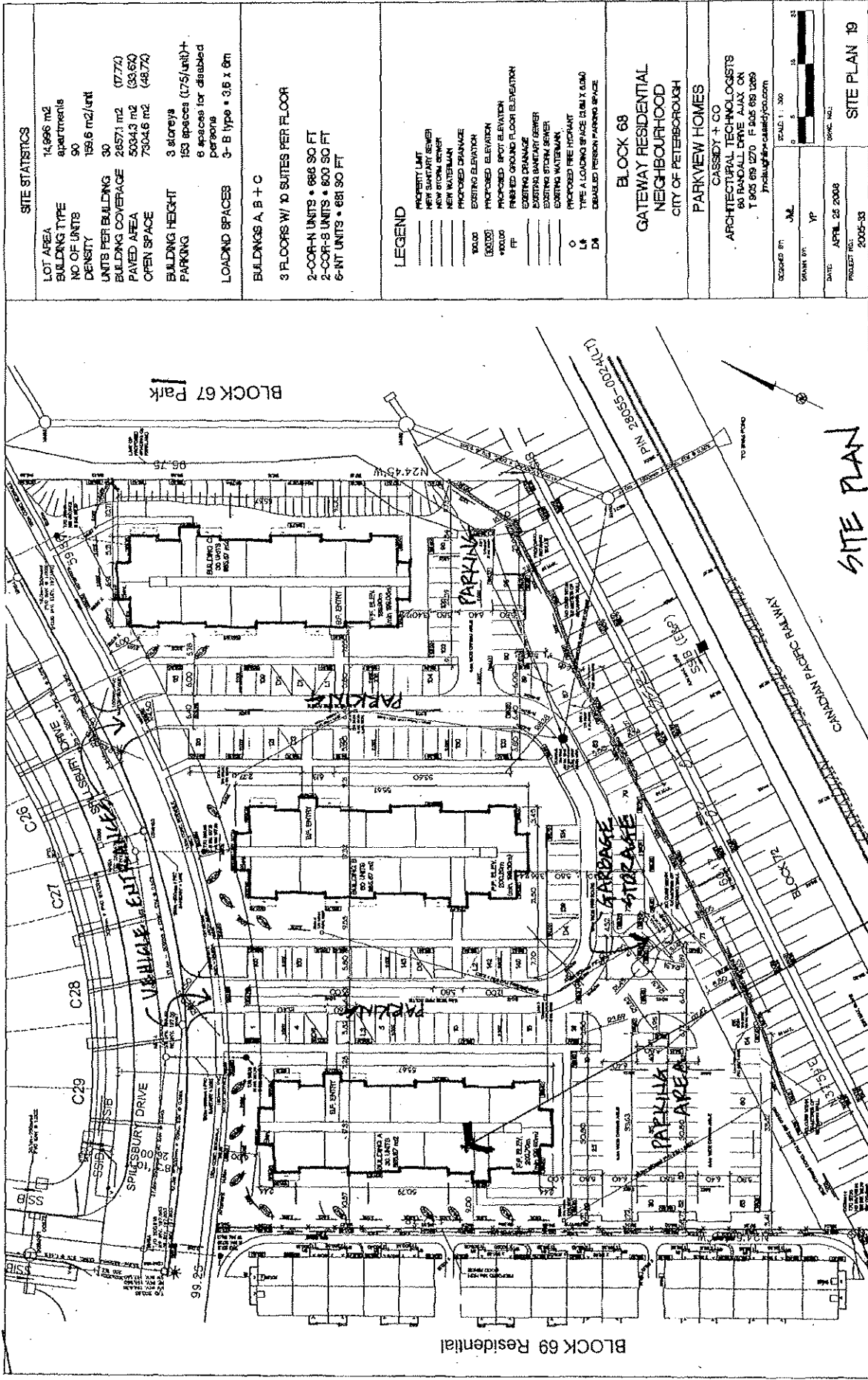
PART 7 - LEASING OF UNITS

*** Section 29 Approval of Board Concerning Tenancies**

No unit shall be leased or rented unless the owner has submitted to the Board of Directors of the Condominium Corporation a written request for such and has received in writing, the approval of the Board of Directors granting the request, prior to the owner entering into any Agreement of Lease or Rent. The written request submitted by the owner to lease or rent his unit must also be accompanied by:

- a) a signed Declaration from the proposed tenant owner in the Condominium Corporation's form, setting out the number of persons in the proposed tenant's family, their respective names and ages and the intention of the proposed tenant as to who will reside in the said residential unit including any household pet.
- b) in accordance with Section 83 of the Act, provide the Corporation with a copy of the lease or lease renewal or a summary of it in the form prescribed by the regulations to the Act and the service address of the owner.
- c) a receipt signed by the tenant that the owner has delivered to and the tenant has received a copy of this declaration, the by-laws and rules and regulations of this Condominium.
- d) Prior to completion of the Agreement of Rent or Lease, with the approval of the Board as hereinafter provided, the owner shall cause the tenant to deliver to the Corporation an Agreement signed by the tenant, to the following effect:

"I, _____, covenant and agree that I, the members of my household and my guests from time to time, will, in occupying and using the unit and the common elements, comply with the Condominium Act, the Declaration, the By-laws and Rules and Regulations of the Corporation during the entire term of my tenancy, and will be subject to the same duties imposed by the above as if I were a unit owner, except for the payment of common expenses, unless otherwise provided by the The Condominium Act, as amended. In particular, I am aware of and will abide by the occupancy restrictions set forth in the Declaration in respect to the use and occupancy of the unit by myself and the members of my household".



SITE PLAN

SUBJECT BUILDING

SITE STATISTICS

LOT AREA	14,996 m ²
BUILDING TYPE	apartment
NO OF UNITS	90
DENSITY	159.6 m ² /unit
UNITS PER BUILDING	30
BUILDING COVERAGE	26571 m ² (67.7%)
PAVED AREA	50343 m ² (33.6%)
OPEN SPACE	73046 m ² (48.7%)
BUILDING HEIGHT	3 storeys
PARKING	153 spaces (175/unit)+ 8 spaces for disabled persons
LOADING SPACES	3-B type • 3.6 x 6m

BUILDINGS A, B + C

3 FLOORS W/ 10 SUITES PER FLOOR
2-COR-N UNITS • 666 90 FT
2-COR-S UNITS • 600 50 FT
6-INT UNITS • 681 90 FT

LEGEND

- PROPERTY LIMIT
- NEW WATER MAIN
- NEW STORM SEWER
- NEW WATERMAIN
- PROPOSED DRAINAGE
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED GROUND FLOOR ELEVATION
- EXISTING DRAINAGE
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- PROPOSED FIRE HYDRANT
- TYPE A LOADING SPACE (3.6M X 6.0M)
- DISABLED PERSON PARKING SPACE

BLOCK 68
GATEWAY RESIDENTIAL
NEIGHBOURHOOD
CITY OF PETERBOROUGH
PARKVIEW HOMES

CASSIDY + CO
ARCHITECTURAL TECHNOLOGISTS
80 RANDALL DRIVE AJAX ON
T 905 69 1270 F 905 69 1269
info@cassidyco.com

DESIGNED BY	JAL	SCALE 1:300	
DRAWN BY	YP	DATE	
DATE	APRIL 22 2008	PROJECT NO.	2005-33
SHEET 19			

EXHIBIT E
SHEET 1 OF 2

