



City of
Peterborough

To: **Members of the Planning Committee**

From: **Jeffrey Humble, Director, Planning and Development Services**

Meeting Date: **May 23, 2017**

Subject: **Report PLPD17-025
Removal of “H” – Holding Symbol from the Zoning of the
property at 737 and 739 Hemlock Street**

Purpose

A report to recommend the removal of the “H” – Holding Symbol from the zoning of the property at 737 and 739 Hemlock Street.

Recommendation

That Council approve the recommendation outlined in Report PLPD17-025 dated May 23, 2017, of the Director, Planning and Development Services, as follows:

That the property at 737 and 739 Hemlock Street be rezoned from the R.1,1r,2r,8z-310’H’ Residential District to R.1,1r,2r,8z-310 – Residential District in accordance with Exhibit ‘C’ attached to Report PLPD17-025.

Budget and Financial Implications

There are no budget or financial implications arising out of the recommendation to remove the “H” – Holding Symbol from the zoning of the subject property.

Background

The zoning of the properties at 737 and 739 Hemlock Street was amended by City Council on February 13, 2017 from the D.1 – Development District to R.1,1r,2r,8z-310 'H' and from the R.1,1r,2r,8z – Residential District to R.1,1r,2r,8z-310 'H' to permit a swimming pool and covered deck to be located within 45 metres of the centre line of a controlled access arterial street (By-law 17-010). An "H" – Holding Symbol was imposed on the zoning, which may only be removed upon the consolidation of Lot 7 and Block 54, Plan 45M-236, known as 737 and 739 Hemlock Street.

Consolidation of the Lands

The applicant has advised and provided documentation documenting the Consolidation of Parcels to the Land Registry Office, as requested by Douglas F. Walker Law Offices. The consolidation of the parcels is required to ensure that Block 54 cannot be transferred as a separate parcel, supporting a swimming pool only.

Summary

The condition associated with the removal of the "H" – Holding provision with respect to the zoning of the lands has been satisfied. Accordingly, it is recommended to approve the By-law Amendment to implement the R.1,1r,2r,8z-310 - Residential District zoning of the property.

Submitted by,

Jeffrey Humble
Director, Planning and Development Services

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Attachments:

Exhibit A: Land Use Map

Exhibit B: Site Plan

Exhibit C: Draft By-law – Removal of Holding Symbol from the zoning of the lands known as 737 Hemlock Street

Exhibit A – Land Use Map, Page 1 of 1

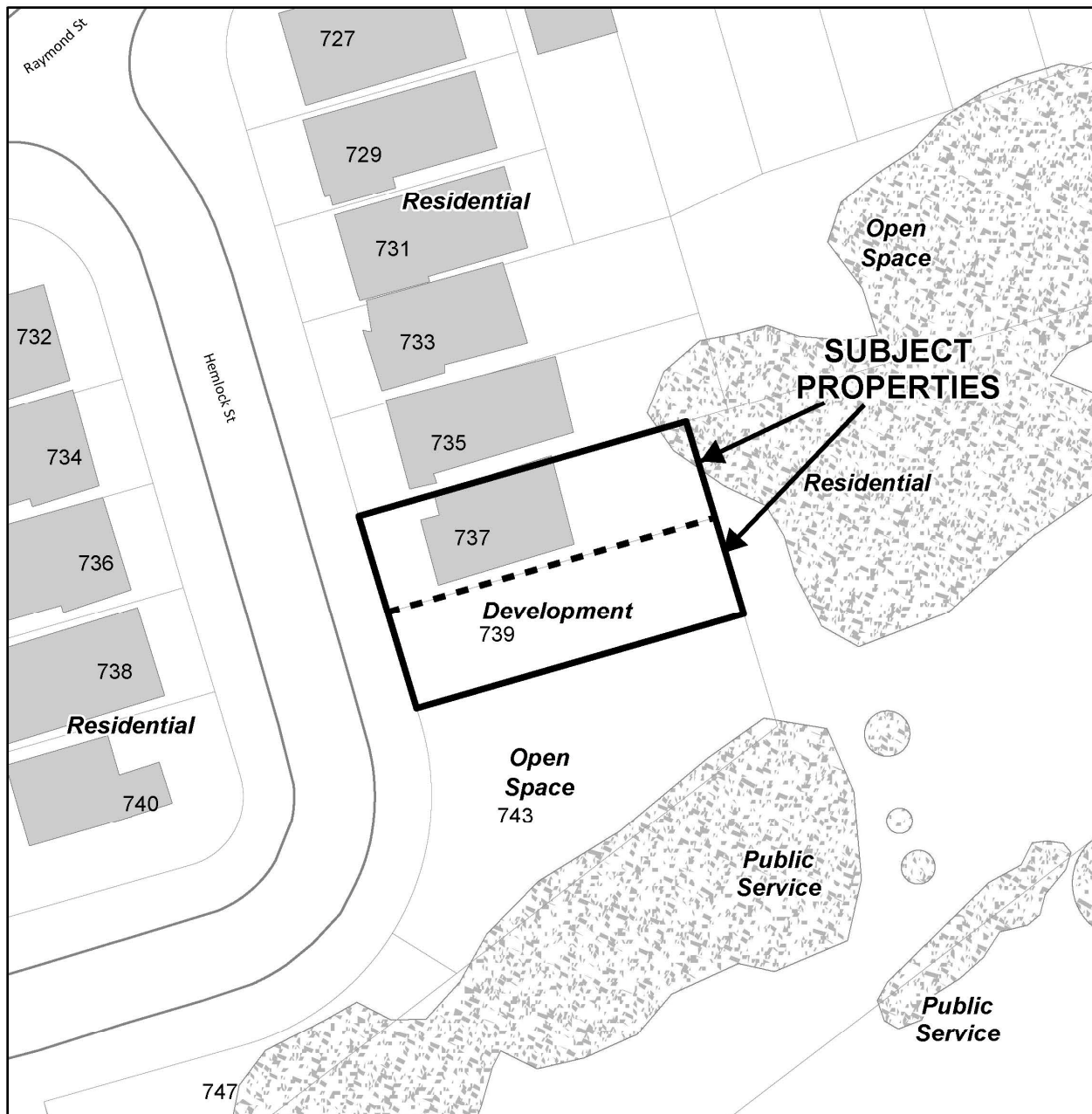
Land Use Map

File: Z1620

Property Location: 737 and 739 Hemlock St

EXHIBIT

SHEET OF

**The City of Peterborough Planning Division**

The "City of Peterborough" its employees, or agents, do not undertake to guarantee the validity of the contents of this digital or handcopy mapfile, and will not be liable for any claims for damage or loss arising from their application or interpretation, by any party. It is not intended to replace a survey or to be used for a legal description.



Date: October 31, 2016

Map by: JEllis

0 2.5 5 10 15 20 25 Metres

Exhibit B – Site Plan, Page 1 of 1

SITE PLAN 737-739 HEMLOCK ST.

PROPOSED POOL + DECK

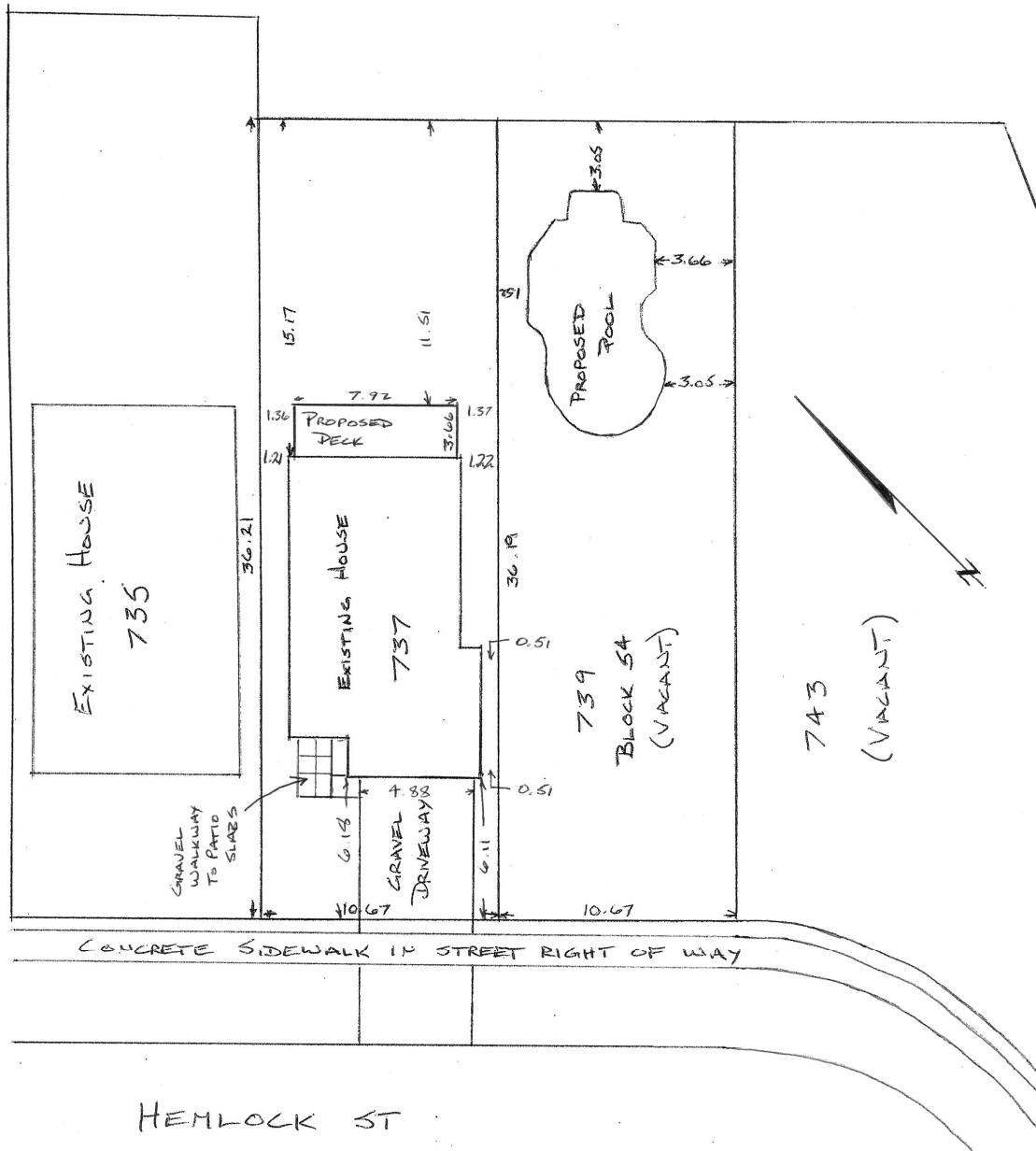


Exhibit C – Draft By-law, Page 1 of 2



The Corporation of the City of Peterborough

By-Law Number 17-

Being a By-law to remove the "H" – Holding Symbol from the zoning of the lands known as 737 and 739 Hemlock Street

The Corporation of the City of Peterborough by the Council thereof hereby enacts as follows:

Map 6 forming part of Schedule "A" to By-law 97-123 is amended by changing the area shown on the sketch attached hereto as Schedule "A" from the R.1,1r,2r,8z-310 'H' Residential District to R.1,1r,2r,8z-310 – Residential District.

By-law read a first, second and third time this ____ day of _____, 2017.

Daryl Bennett, Mayor

John Kennedy, City Clerk

Exhibit C – Draft By-law, Page 2 of 2