



City of
Peterborough

To: Members of the Planning Committee

From: Jeffrey Humble, Director, Planning and Development Services

Meeting Date: April 10, 2017

Subject: Report PLPD17-018
Application for Site Plan Approval, 80 Marsh Avenue,
Proposed 87 Unit Two Storey Row House Development

Purpose

A report to recommend the approval of a Site Plan Application for the construction of an 87 unit, two storey row house development at 80 Marsh Avenue in the Mason Homes Subdivision on Chemong Road.

Recommendations

That Council approve the recommendations outlined in Report PLPD17-018 dated April 10, 2017, of the Director, Planning and Development Services, as follows:

That the Site Plan Application submitted by Mason Homes Limited for the construction of an eighty-seven (87) unit, two storey row house development at 80 Marsh Avenue be approved subject to the following conditions:

- a) The deposit of site work performance security in the amount of \$100,000.00;
- b) The submission of revised drawings and additional technical information to the satisfaction of the Director of the Utility Services; and
- c) The conveyance of remnant lands to the City at the southwest and northeast corners of the site, at no charge and free of encumbrances.

Budget and Financial Implications

With respect to the development charge calculation, the Mason Homes Subdivision lies entirely within the Chemong East Planning Area and, therefore, Area Specific Development Charges and City-wide Development Charge are applicable. Applying rates established for this year, the development of the property will generate \$522,435 in Area Specific Development Charges and \$1,489,657 in City-wide Development Charges for the City.

Background

The area of the subject property is 3.32 hectares (8.2 acres) and is identified as Block 65, Registered Plan No. 45M-247. Mason Homes identifies the site as “Medium Density Condominium” on their Subdivision Plan. The Condominium Block backs onto a wetland. The property boundary of the condominium Block accords with a 15 metre setback from the wetland boundary. On its south side, the site abuts parkland, which has already been constructed by Mason Homes. Exhibit “B” shows the condominium Block’s location within the Plan of Subdivision.

Concurrent with this report recommending approval of the Site Plan Application, Report No. PLPD17-019 is recommending a Zoning By-law Amendment to permit the condominium’s development as a “Common Elements” Condominium. The freehold lots created through the establishment of a Common Elements Condominium are not considered part of the condominium but are legally “tied” to the Condominium Corporation to ensure lot owners share responsibility for maintaining the condominium features. The subject Site Plan Application is not dependent on the Zoning By-law Amendment to permit a Common Elements Condominium because the physical nature of the development would not change if the Developer did not pursue a Zoning By-law Amendment and created another standard type of condominium.

Variances to some Zoning By-law regulations were granted by the Committee of Adjustment. They included a reduction to the south side yard setback to three metres in order to permit the construction of decks; allowing the construction of a deck with a maximum height of 3.4 metres above grade for the decks along the east and north lot lines; a reduction to the north rear yard setback to 2.5 metres to permit decks; and a reduction to the minimum building setback from the rear and side lot lines to 4.5 metres.

Site Plan Application

The subject Site Plan Application proposes to construct seventeen two storey blocks of row houses with as few as three to as many as seven units per block. A single driveway from Marsh Avenue provides access to the site, with an emergency access at its extreme

southeast corner. Lane "1" on the Site Plan provides access to rear yard parking spaces and garages for the smaller row house units near Marsh Avenue. The applicant was required to revise the site plan application to provide adequate space for vehicle turning movements for access and egress to the rear yard garages and parking spaces (see Exhibit "C", page 2 and 3).

The remainder of the driveways on the Site Plan provide access to front yard garages. In a couple of areas these driveways have been widened to accommodate parallel spaces for visitor parking.

Specific to this property, Zoning By-law regulations require the provision of two parking spaces per dwelling unit. As a result, the proposed development is required to show 174 spaces on the Site Plan. At least two parking spaces are shown for each dwelling unit and spaces for visitor parking are shown, exceeding the Zoning By-law parking requirement.

Two "parkettes" are shown on the Site Plan, which will be declared as common areas for the use of all the condominium owners within the development. The parkettes are additional to the parkland dedication pursuant to the Mason Homes overall Plan of Subdivision. The Landscape Plan was prepared by a Landscape Architect registered with the Ontario Association of Landscape Architects. The maintenance of all the proposed features in the Site Plan, including driveways, utilities, landscape and lighting, will be the responsibility of the future Condominium Corporation.

The Site Plan Agreement will obligate the owner (the future Condominium Corporation) to make arrangements for private waste collection services as is required under the conditions of subdivision approval.

Pursuant to a condition of Draft Subdivision approval, a permanent black, 1.5 metre (five foot) high chain-link fence is to be installed between the site and the adjacent parkland and open space (wetland). In accordance with the Environmental Impact Study submitted and approved for the Subdivision, the Lighting Plan for the proposed development has also been designed to prevent light from trespassing into the adjacent wetland area.

1.5 metre (five foot) wide concrete walkways provide pedestrian access into the site and asphalt pathways are shown for access through the parkettes. An asphalt walkway providing access to the dedicated parkland near the end of "Street B" is also shown, as reasonable access to the park should be provided from deep within the condominium development.

Additional revision work included widening the main access driveway into the site where a landscaped median is proposed to a minimum width of 6.0 metres. This was needed in order to satisfy emergency fire truck access requirements pursuant to the Ontario Building Code. The configuration of a small remnant area of property also needs to be amended in order to meet the side yard setback requirement relative to the west lot line. This part is noted as Part 2 on a Draft Reference Plan (southwest corner of the site). This remnant piece of property, together with Part 1 (northeast corner of the site), will be conveyed to the City at no cost and free of encumbrances.

Notice

Notice of the Application was circulated to all abutting property owners, as well as concerned City departments, agencies and utilities. All comments have been considered and addressed. The additional technical information and revision work requested by the Utility Services Department are not of a magnitude to prevent the application going forward for conditional approval. The comments relate to grading and servicing details, which can be easily addressed by the applicant.

Summary

The Site Plan Application for the construction of a two storey, 87 unit row house development at 80 Marsh Avenue within the Mason Homes Subdivision is recommended for approval by City Council in accordance with By-law 11-081, Section 3(b), requiring Site Plan Applications to be approved by Council where a residential development contains more than fifty dwelling units. The Site Plan Application is deemed to comply with applicable Zoning By-law regulations, as well as the variances that were granted by the Committee of Adjustment and is in keeping with the policy directives of the Official Plan.

Submitted by,

Jeffrey Humble
Director, Planning and Development Services

Contact Names:

Ken Hetherington
Manager, Planning Division
Phone: 705-742-7777, Ext. 1781
Toll Free: 1-855-738-3755
Fax: 705-742-5218
E-mail: khetherington@peterborough.ca

Brian Buchardt
Planner, Urban Design
Phone: 705-742-7777, Ext. 1734
Toll Free: 1-855-738-3755
Fax: 705-742-5218
E-mail: bbuchardt@peterborough.ca

Attachments:

Exhibit A: Land Use Map
Exhibit B: Site in Context with the Mason Homes Plan of Subdivision
Exhibit C: Site Plan Set of Drawings

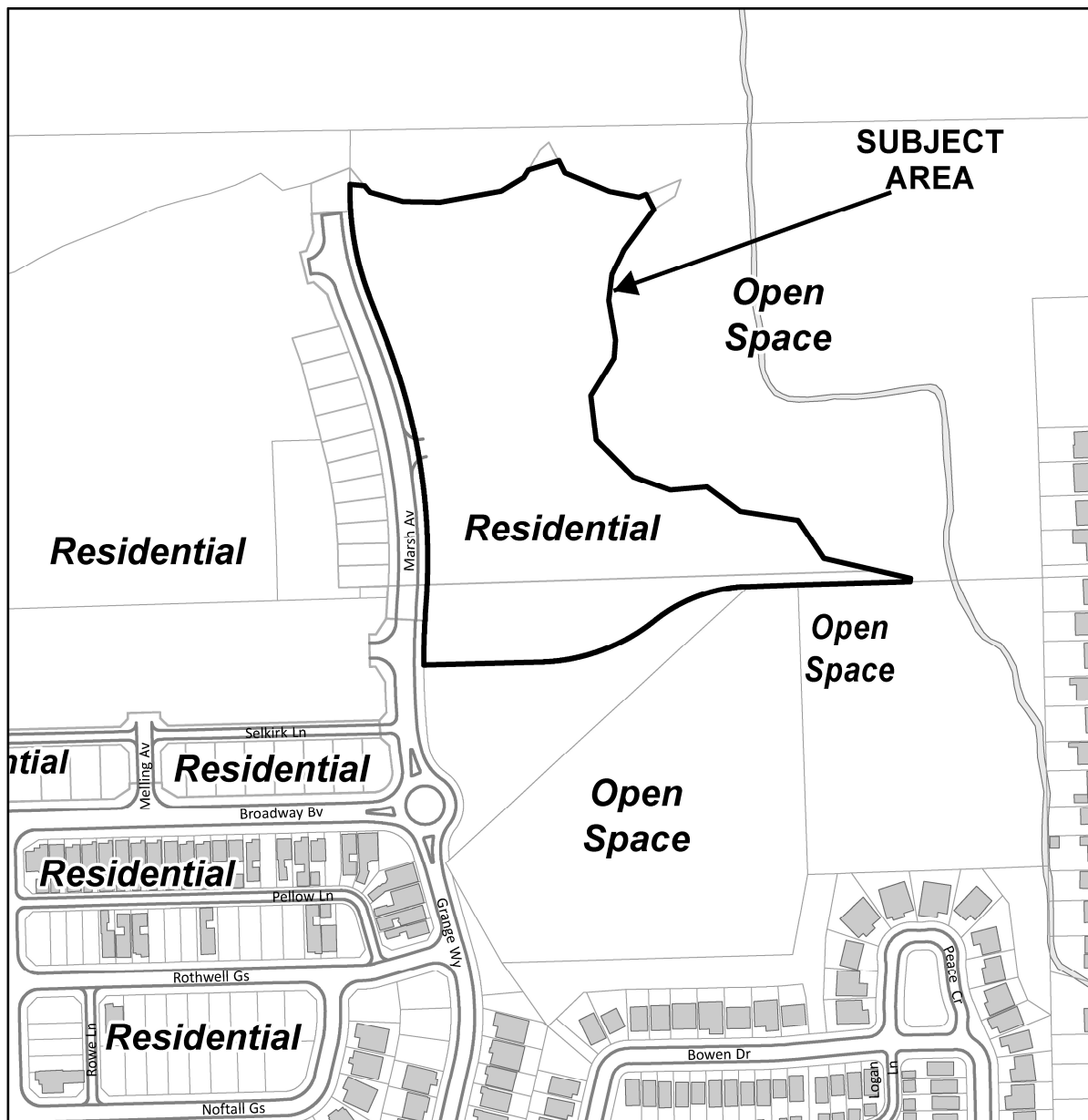
Exhibit A, Land Use Map, Page 1 of 1

Land Use Map

File: Z1701

Property Location: 80 Marsh Avenue

EXHIBIT	
SHEET	OF



The City of Peterborough Planning Division

The "City of Peterborough" its employees, or agents, do not undertake to guarantee the validity of the contents of this digital or handcopy mapfile, and will not be liable for any claims for damage or loss arising from their application or interpretation, by any party. It is not intended to replace a survey or to be used for a legal description.

Date: March 14, 2017

Map by: JEllis

0 10 20 40 60 80 100 Metres

Exhibit B – Site in Context with the Mason Homes Plan of Subdivision, Page 1 of 1

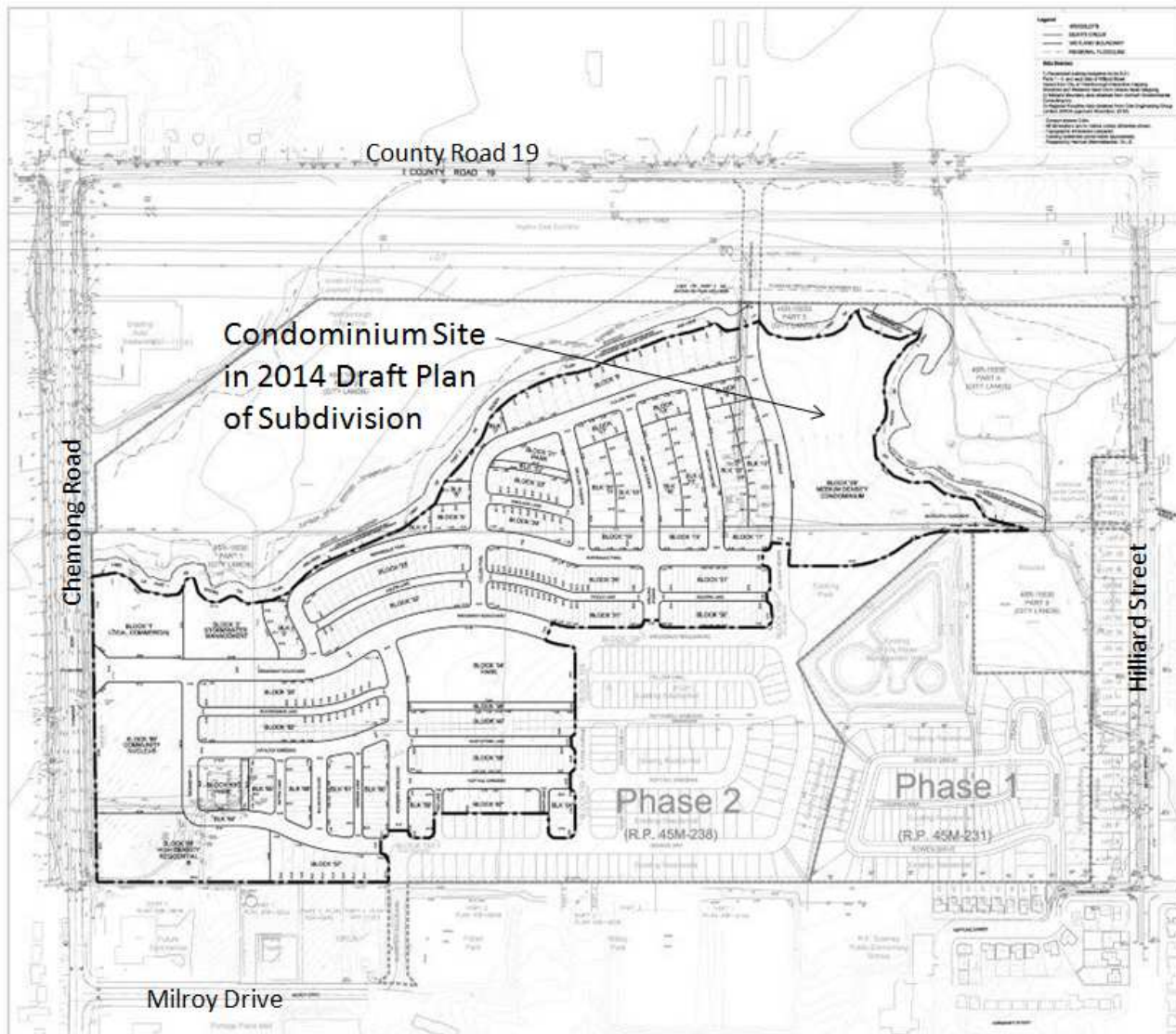


Exhibit C – Site Plan Set of Drawings, Page 1 of 15

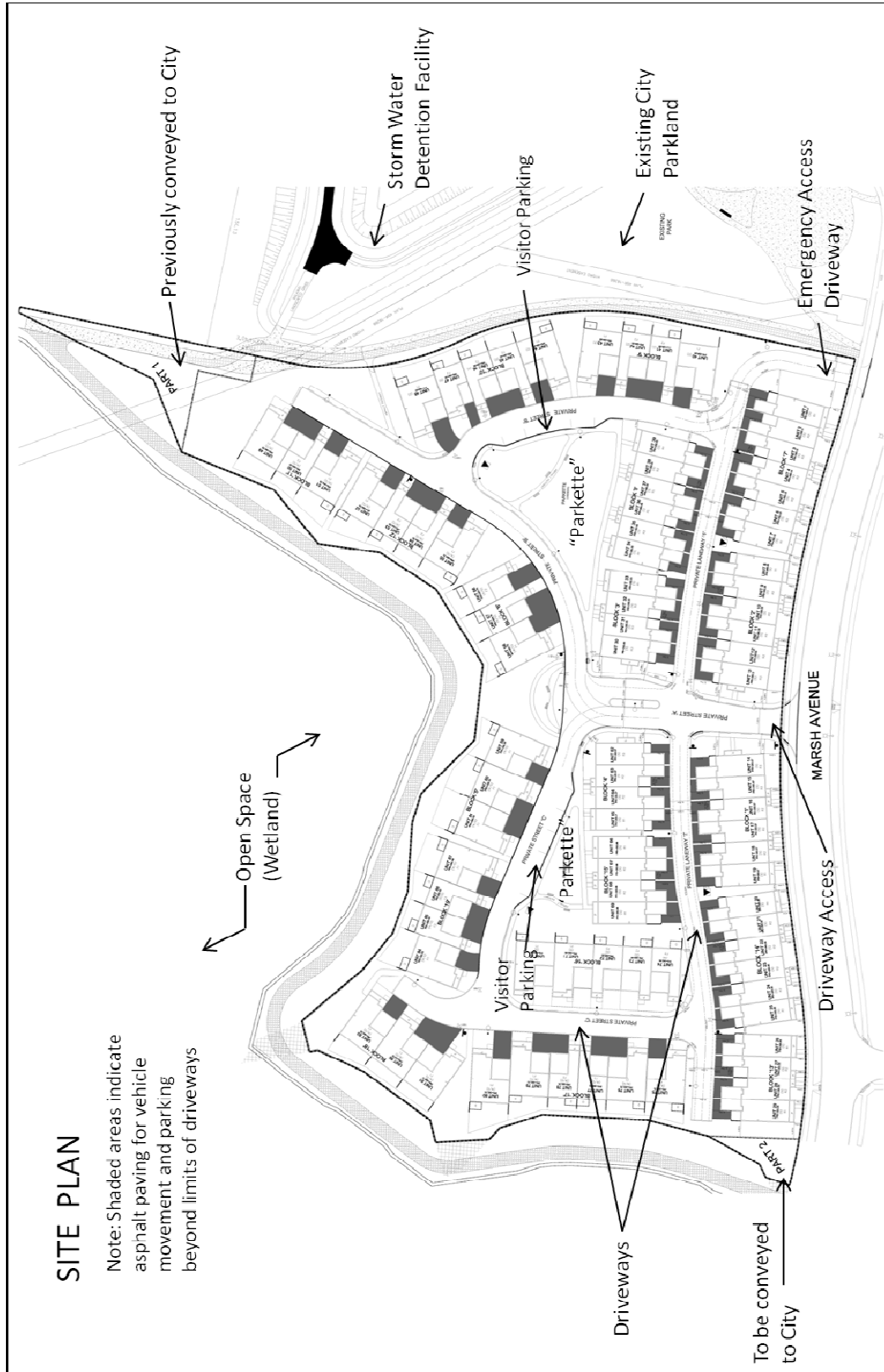
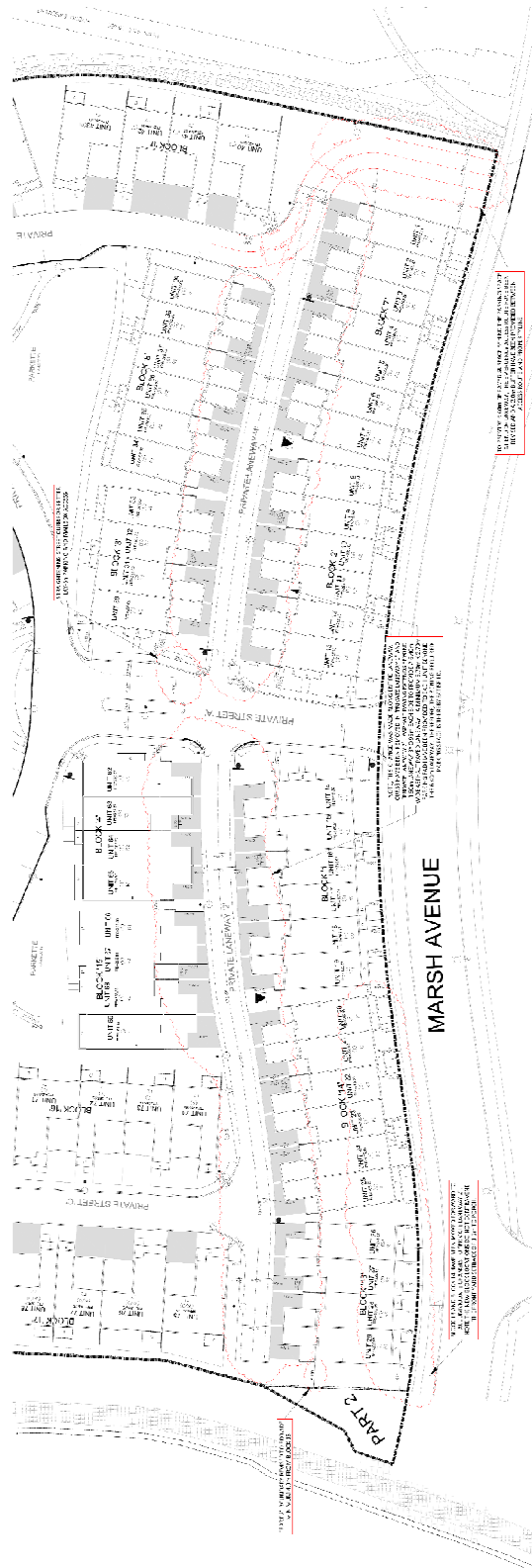
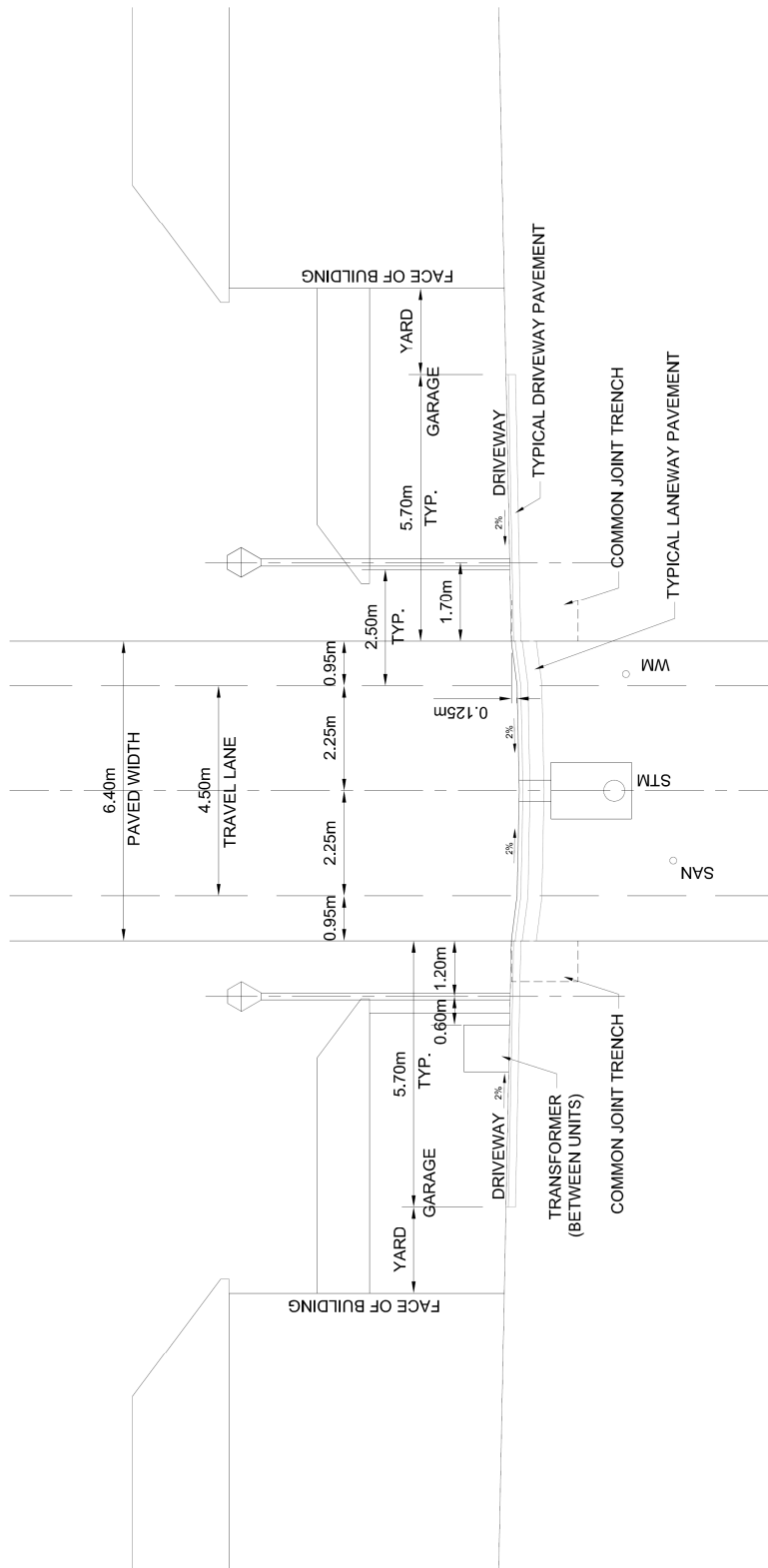


Exhibit C – Site Plan Set of Drawings, Page 2 of 15

Highlights of Site Plan Revisions to accommodate Access to Rear yard Garages and Parking Spaces



Section through Rear Yard Lane-way



TYP. LANEWAY 4.5m TRAVEL (6.4m PAVED)
Scale: 1:100

Exhibit C – Site Plan Set of Drawings, Page 4 of 15





Exhibit C – Site Plan Set of Drawings, Page 6 of 15

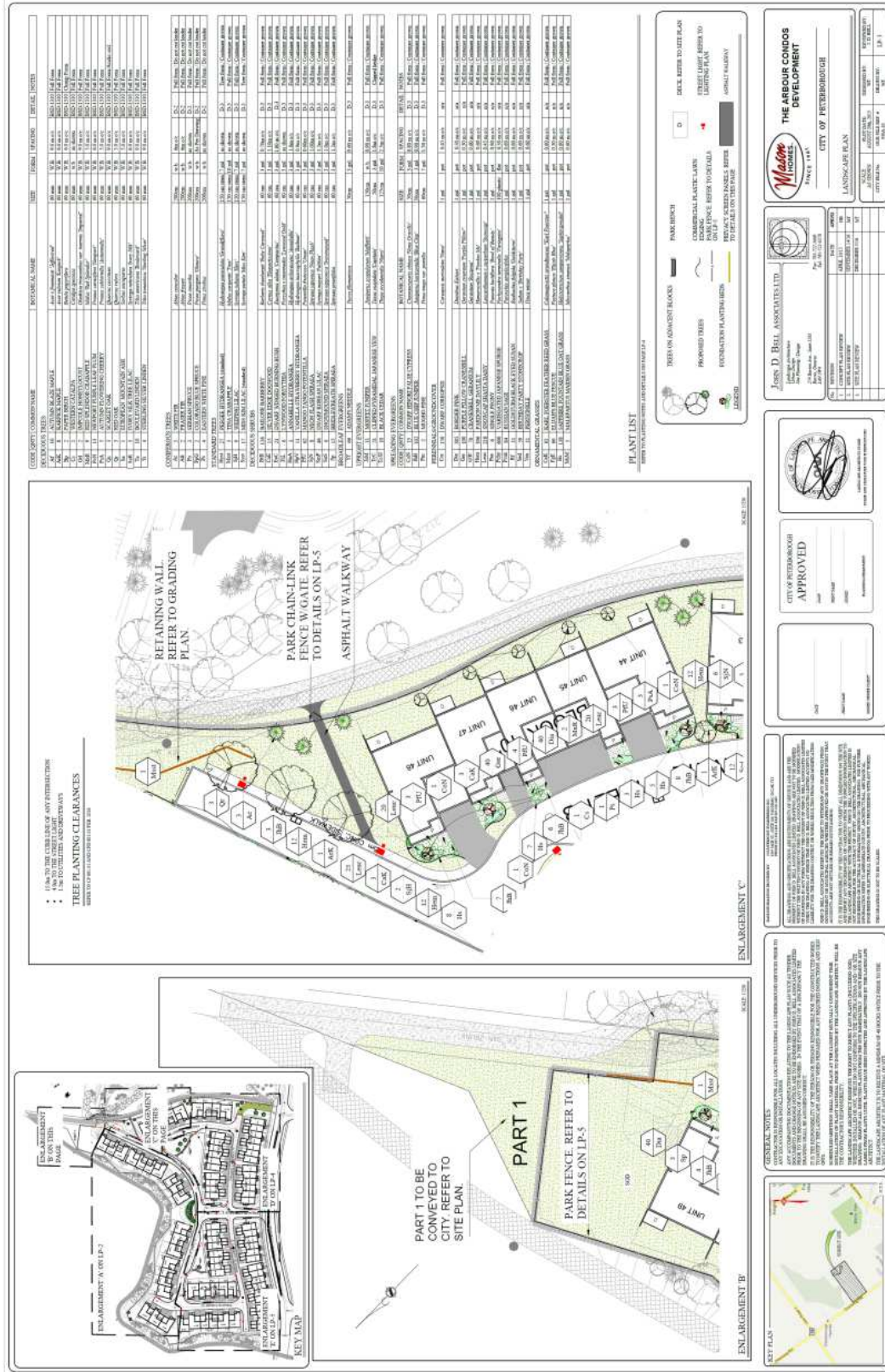


Exhibit C – Site Plan Set of Drawings, Page 7 of 15

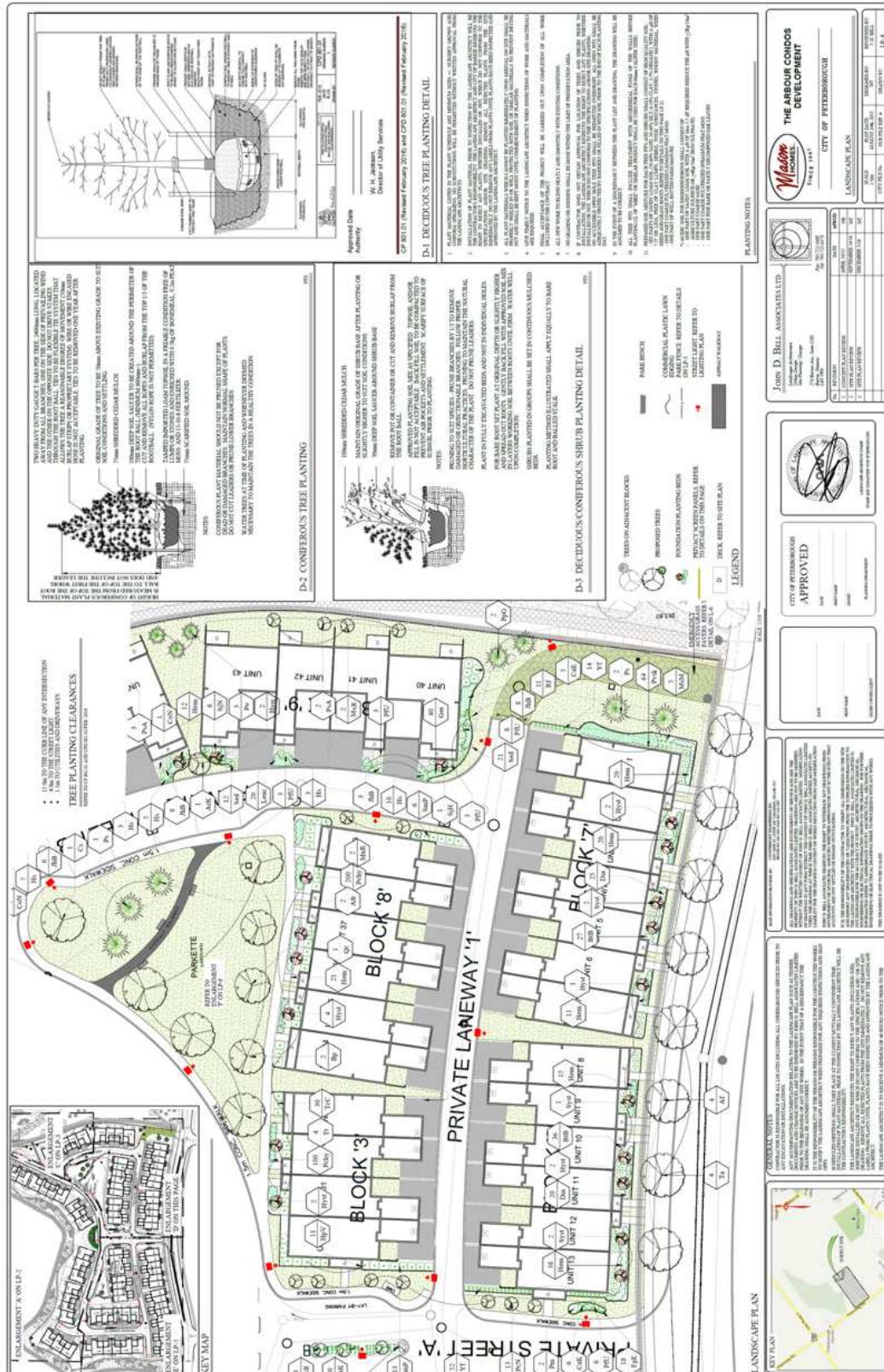


Exhibit C – Site Plan Set of Drawings, Page 8 of 15

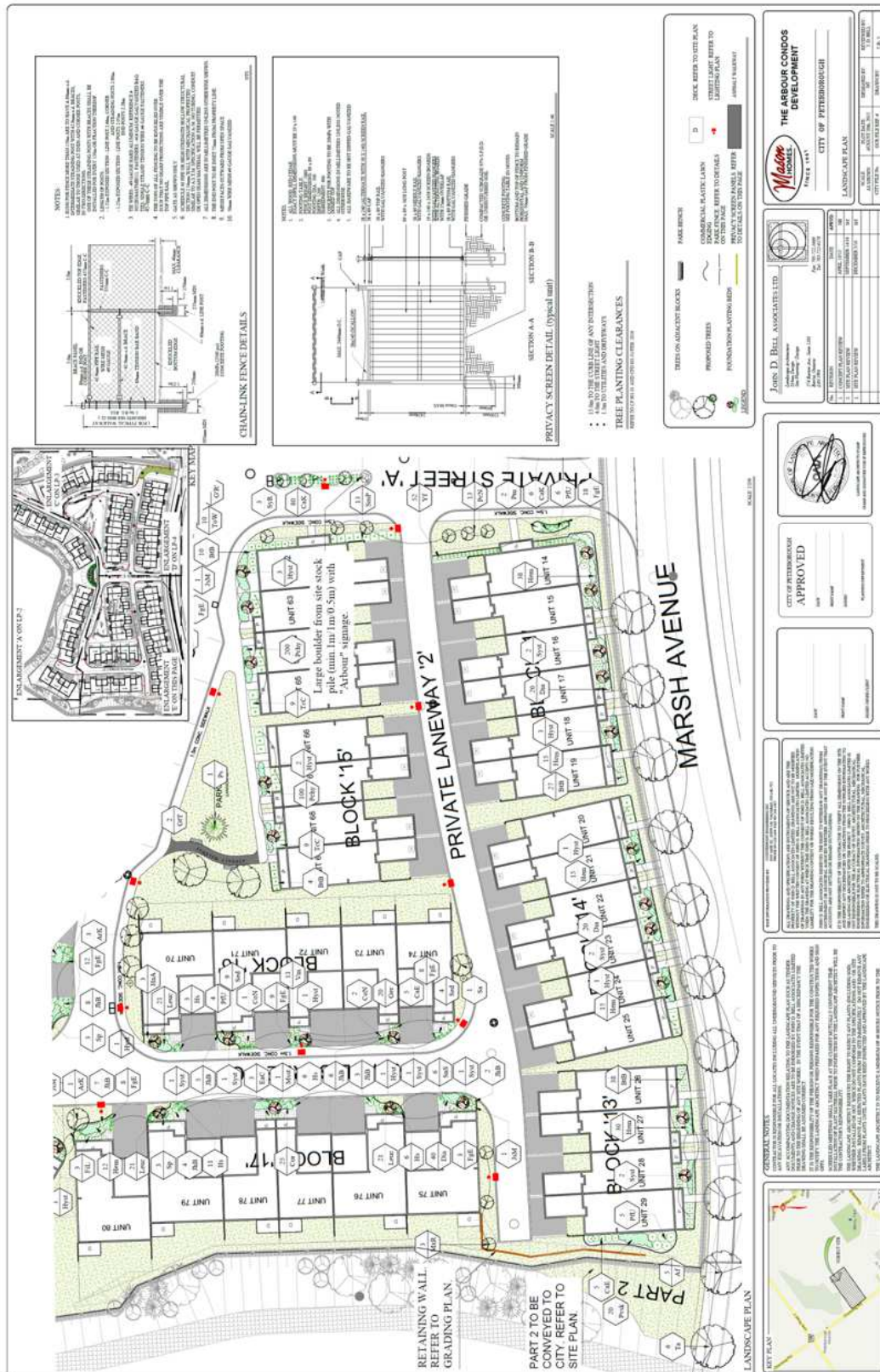


Exhibit C – Site Plan Set of Drawings, Page 9 of 15

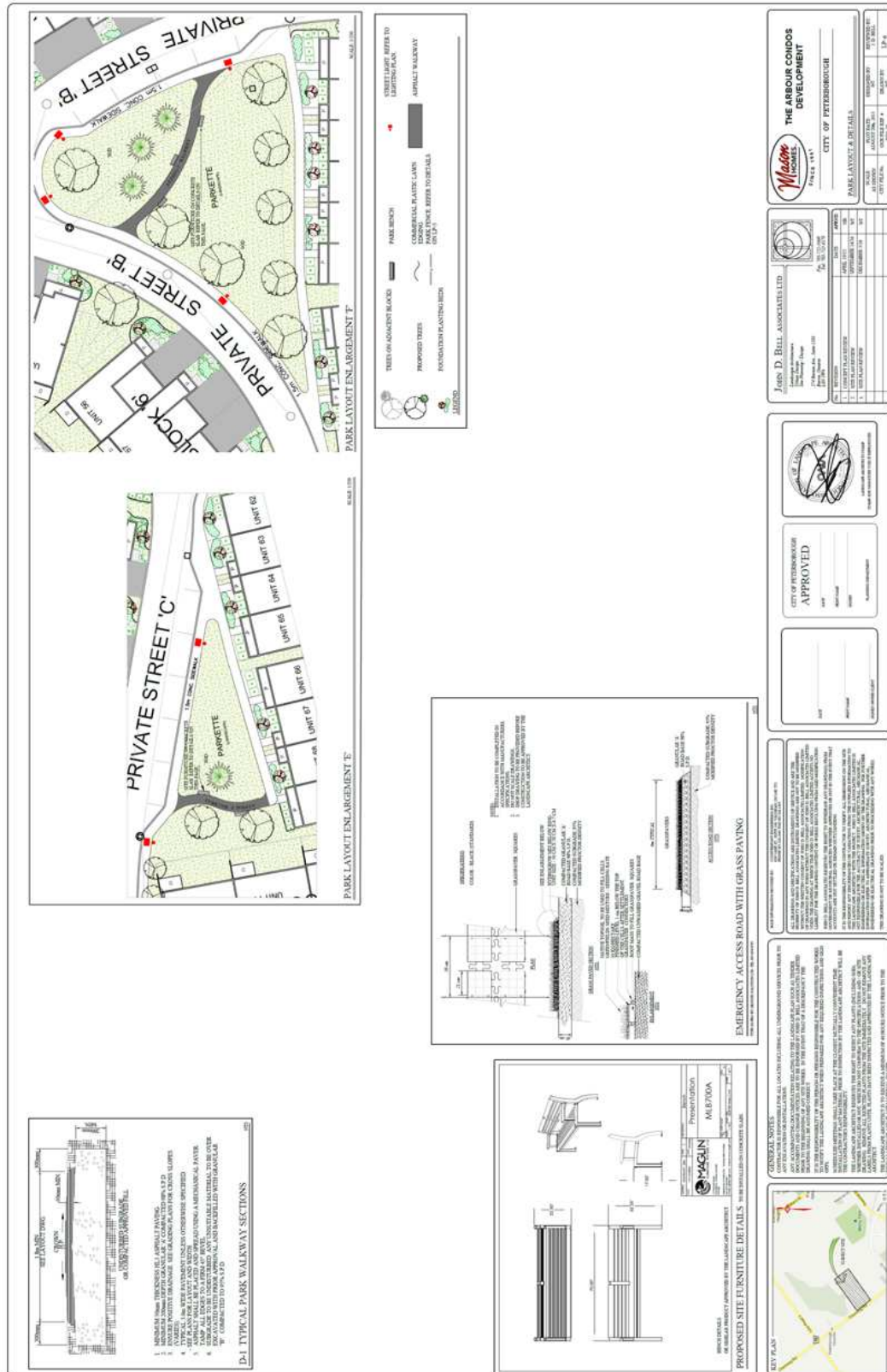


Exhibit C – Site Plan Set of Drawings, Page 11 of 15



[illegible]

[illegible]

Exhibit C – Site Plan Set of Drawings, Page 14 of 15



Exhibit C – Site Plan Set of Drawings, Page 15 of 15

