

BROCK MISSION SHELTER

217 MURRAY STREET, PETERBOROUGH ONTARIO

LOT 6 AND PART OF LOT 5, WEST OF GEORGE STREET, SOUTH OF MURRAY STREET, REGISTERED PLAN No.1,
CITY OF PETERBOROUGH, COUNTY OF PETERBOROUGH

533 College Street, Suite 301
Toronto, Ontario, Canada M6G 1A8
T: 416 203 7600 F: 416 203 3342
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SITE PLAN APPROVAL DRAWING SET		
SHEET NUMBER	SHEET NAME	ISSUE DATE
SPA		
A-0	COVER PAGE	2016/09/07
A-1	SITE PLAN - EXISTING / DEMO	2016/09/07
A-2	SITE PLAN - PROPOSED	2016/09/07
A-3	SCHEMATIC FLOOR PLANS - GROUND & BASEMENT FLOORS	2016/09/07
A-4	SCHEMATIC FLOOR PLANS - SECOND & THIRD FLOORS	2016/09/07
A-6	EXTERIOR ELEVATIONS	2016/09/07
A-7	EXTERIOR ELEVATIONS	2016/09/07
A-8	BUILDING SECTIONS	2016/09/07
L-1	LANDSCAPE - PLAN	2016/09/07
01	CIVIL - STORMWATER DRAINAGE AREAS	2016/09/07
02	CIVIL - SITE SERVICING AND GRADING PLAN	2016/09/07
03	CIVIL - GENERAL NOTES AND DETAILS	2016/09/07
00	PLAN OF SURVEY	2014/04/22

NOTE: BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO, THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.

CONTEXT PLAN:



ISSUED FOR SITE PLAN APPROVAL

Area Schedule (Gross Floor Area)	
Level	Area (m2)
Basement F.F. (199.85masl)	680 m ²
Ground Floor (204.00masl)	680 m ²
Second Floor	540 m ²
Third Floor	524 m ²
	2,424 m ²

ISSUE DATE: SEPTEMBER 07, 2016

NO.	DATE	DESCRIPTION
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3	2016/06/07	ISSUED FOR PRE-APPLICATION MTG.
2	2016/05/09	ISSUED FOR COORDINATION
1	2016/01/20	ISSUED FOR COSTING

PROJECT:
BROCK MISSION MEN'S SHELTER

217 MURRAY STREET, PETERBOROUGH, ONTARIO

DRAWING TITLE:
COVER PAGE

1 Concept View - From Murray Street
1 : 75

OWNER

Brock Mission
217 Murray Street
Peterborough, Ontario, K9H 2S7
705.748.4766 x 4
Contact: Bill McNabb

ARCHITECT

LGA Architectural Partners
533 College Street, Unit 301
Toronto, Ontario M6G 1A8
416.203.7600 x 337
Contact: Allison Janes

STRUCTURAL CONSULTANT

Blackwell
19 Duncan Street, Suite 405
Toronto, Ontario M5H 3H1
416.593.5300
Contact: Christian Bellini

MECHANICAL/ELECTRICAL CONSULTANT

Lam and Associates Ltd.
160 Applewood Cres, Unit 25
Concord, Ontario
905.660.7670
Contact: Patrick Lam

CIVIL CONSULTANT

Engage Engineering
420 George St. North, Suite 207
Peterborough, Ontario, K9H 3R5
705.755.0427
Contact: Aaron Hill

LANDSCAPE CONSULTANT

Basterfield & Associates
416 Chambers Street
Peterborough, Ontario, K9H 3V1
705.745.3623
Contact: Kim Muzatko
kim@basterfield.ca

PROJECT NO: 14276
SCALE: 1 : 75
DRAWN BY: AJ
REVIEWED BY: JL

DRAWING NO:
A-0

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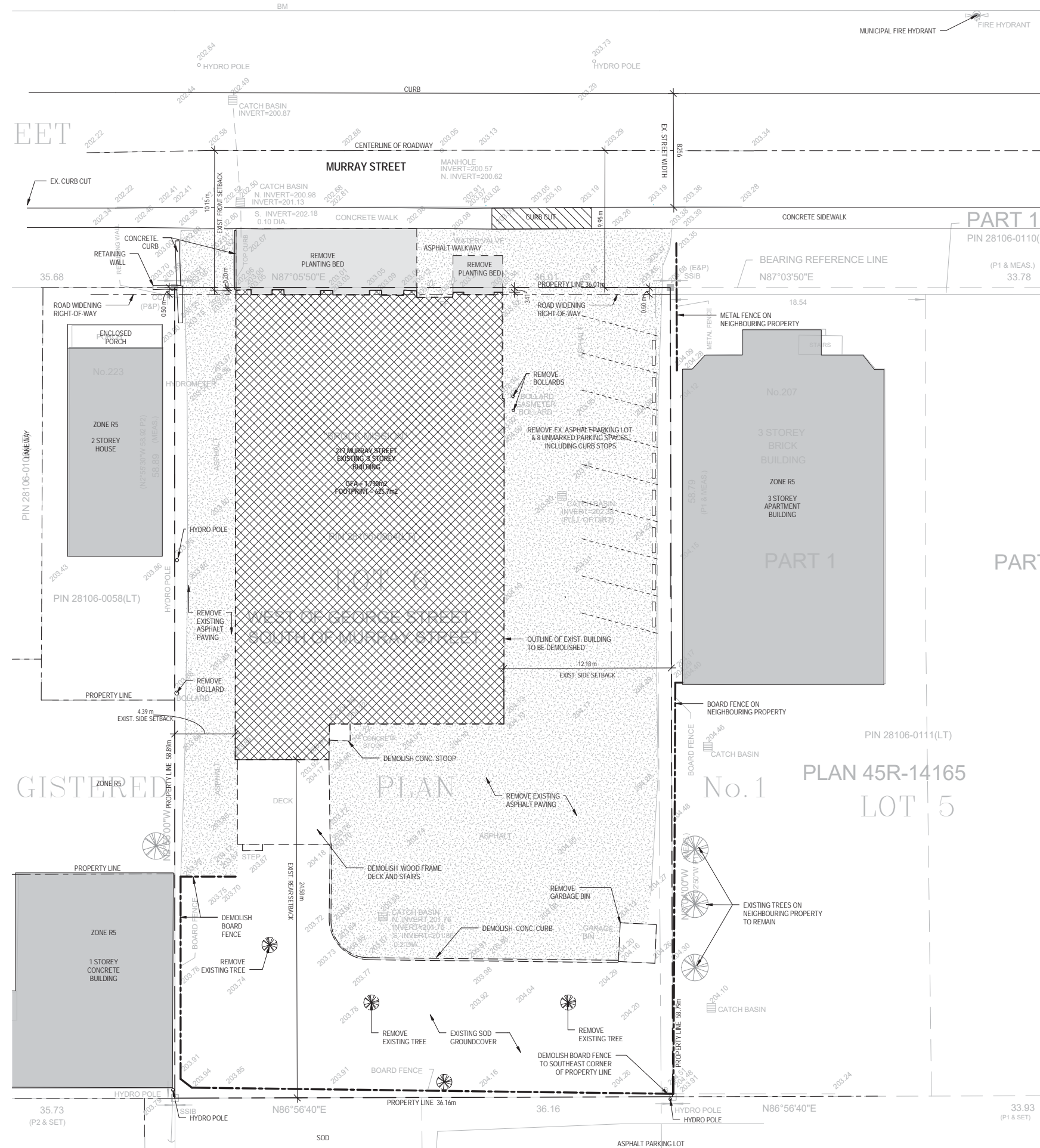
PROJECT:
BROCK MISSION MEN'S SHELTER

217 MURRAY STREET, PETERBOROUGH, ONTARIO

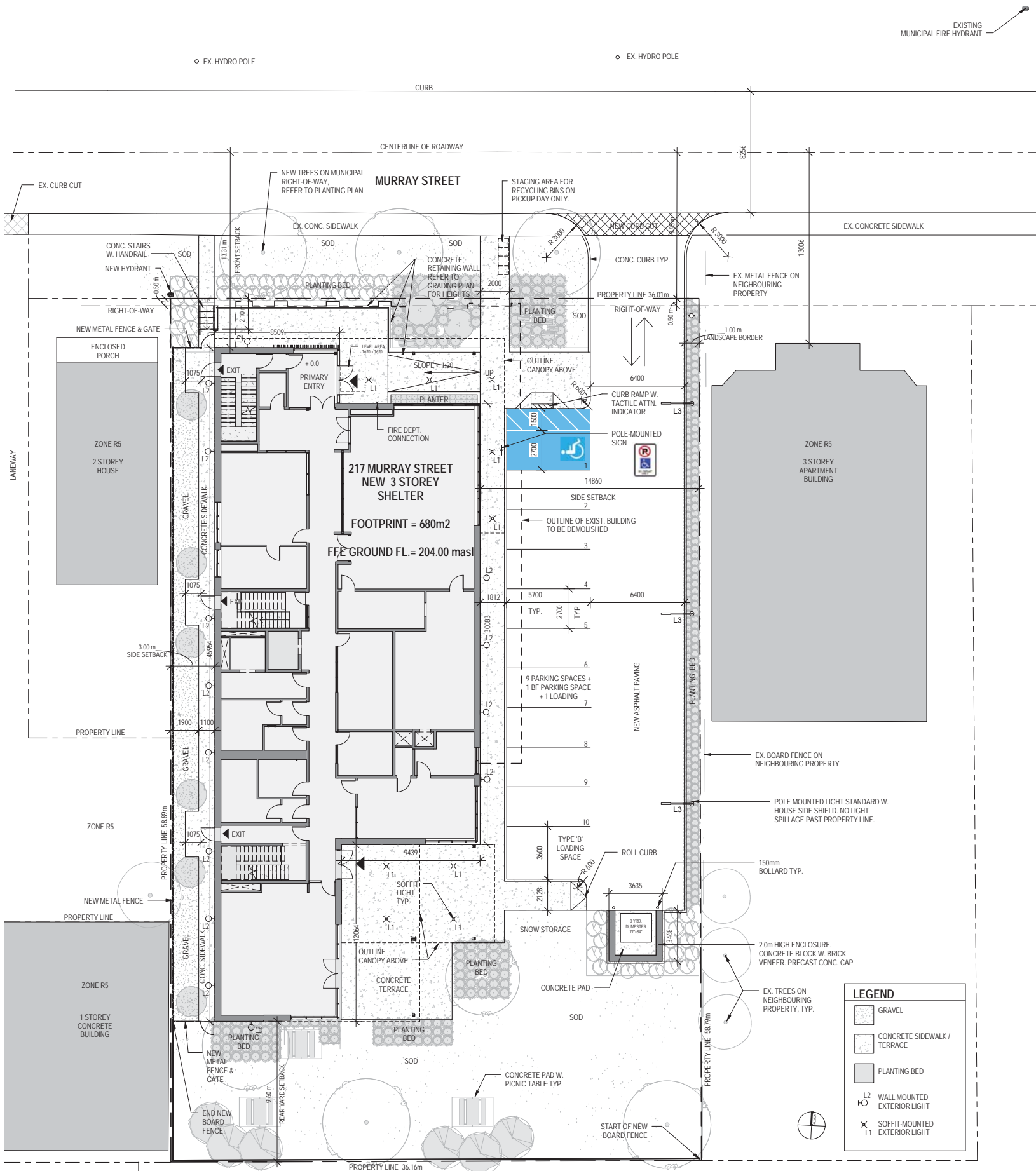
DRAWING TITLE:
SITE PLAN - EXISTING / DEMO

PROJECT NO: 14276 PROJECT NORTH
 SCALE: 1 : 150
 DRAWN BY: AJ
 REVIEWED BY: JL

DRAWING NO:
A-1



1 00 Existing Site Plan
 1 : 150



SITE PLAN NOTES

1. ALL SITE DIMENSIONS SHOWN IN THIS DRAWING INCLUDING BUT NOT LIMITED TO THE EXISTING BUILDING FOOTPRINTS, ENCROACHMENTS, PROPERTY LINES, SETBACKS, INFRASTRUCTURE ARE TAKEN FROM THE SURVEY OF LOT 6 AND PART OF LOT 5, WEST OF GEORGE STREET, SOUTH OF MURRAY STREET, REGISTERED PLAN NO. 1, CITY OF PETERBOROUGH, COUNTY OF PETERBOROUGH AUTHORED BY ELLIOT AND PARR LTD. ONTARIO LAND SURVEYOR, DATED NOVEMBER 4, 2014.
2. ALL LANDSCAPE INFORMATION ON THIS PLAN IS FOR REFERENCE ONLY. FOR ALL LANDSCAPE INFORMATION INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES, RETAINING WALL AND FENCING LINES SEE LANDSCAPING DRAWINGS.
3. SEE CIVIL FOR SITE SERVICING AND GRADING INFORMATION.
4. ALL GEODETIC INFORMATION ON THIS PLAN IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL NOT USE THIS DRAWING TO INFER ANY SITE DIMENSIONS BUT SHALL USE THE OFFICIAL SURVEYS.

SITE LIGHTING FIXTURES:

L1 - EXTERIOR LED SOFFIT DOWNLIGHT
MANUFACTURER: JUNO LIGHTING - ROUGH-IN: L4-1530U-G3, CONE: L400P-CL-WH, 1-35 WATT, OR SIMILAR.

L2 - EXTERIOR LED WALL MOUNTED DOWNLIGHT
MANUFACTURER: BK LIGHTING - EC-LED-E22-WFL-A9-XXX-12-C, 1-8WATT, OR SIMILAR.
NO LIGHT SPILLAGE PAST PROPERTY LINE

L3 - POLE MOUNTED LED LIGHT STANDARD
MANUFACTURER: PHILIPS LUMEC MINIVIEW W. PHOTOCELL, 35WATT 3500K TYPE AA WITH EXTERNAL HOUSE SHIELD, PHILIPS SPR4 SERIES POLE & TER SERIES 6 BRACKET, OR SIMILAR.
NO LIGHT SPILLAGE PAST PROPERTY LINE

SITE DATA	BY - LAW	EXISTING	PROPOSED
LOT AREA	-	2,117m ²	2,117m ²
LOT FRONTAGE	-	36 m	36 m
OFFICIAL PLAN DESIGNATION	Sched 'A' - COMMERCIAL Sched 'J' - COMMERCIAL CORE AREA	Sched 'A' - COMMERCIAL Sched 'J' - COMMERCIAL CORE AREA	Sched 'A' - COMMERCIAL Sched 'J' - COMMERCIAL CORE AREA
ZONING	PUBLIC SERVICE 2	PUBLIC SERVICE 2	PUBLIC SERVICE 2
USES OF THE SUBJECT LAND	PLACE OF ASSEMBLY	EMERGENCY SHELTER	EMERGENCY SHELTER & MULTI-SUITE RESIDENCE
LENGTH OF EXISTING USE	-	10 YEARS	-
TYPE OF BUILDING	-	CHURCH / ASSEMBLY HALL	EMERGENCY SHELTER / MULTI-SUITE RESIDENCE
DATE OF CONSTRUCTION	-	UNKNOWN	-
SETBACKS:			
FRONT (CENTERLINE OF ST)	10m	10.15m	13.33m
REAR (LOT LINE)	BUILDING HEIGHT	24.58m	9.6m
SIDE (LOT LINE)	BUILDING HEIGHT	4.39m	3.00m
SIDE (LOT LINE)	BUILDING HEIGHT	12.18m	14.86m

BUILDING DATA:	EXISTING	PROPOSED
BUILDING CODE CLASSIFICATION	Non-conforming	Ground Floor: Group A, Division 2, up to 6 storeys, Any Area, Sprinklered 2nd & 3rd Floor: Group C, up to 3 storeys, Sprinklered
FIRE PROTECTION		
FIRE ACCESS ROUTES REQUIRED	1	1
SPRINKLER SYSTEM	NOT PROVIDED	ENTIRE BUILDING
FIRE ALARM REQUIRED	YES	YES
STANDPIPE REQUIRED	NO	NO
GROUND FLOOR AREA	625.7m ²	680 m ²
GROSS FLOOR AREA	1,790m ²	2,424 m ² (incl. basement)
BUILDING AREA (incl. projections)	625.7m ²	820 m ²
BUILDING COVERAGE RATIO (incl. projections)	40%	29.5%
LOT COVERAGE PARKING, DRIVEWAYS, VEHICLE MOVEMENT AREAS	47% (989m ²)	21% (451m ²)
BUILDING HEIGHT (from average grade)	12.8m (Top of Roof Peak)	13.5 m (Top of Parapet) 14.0 m (Top of Mech. Penthouse)
NUMBER OF STOREYS (above grade)	3	3
NUMBER OF DWELLING UNITS	0	15 (1 du / 741m ²)

PARKING DATA		MUNICIPAL PARKING AREA 1		
	FLOOR AREA (m ²)	REQUIRED BY - LAW	EXISTING	PROPOSED
RESIDENTIAL USES:				
EMERGENCY SHELTER AREA	GROSS = 1,702 m ² NET = 952m ² # BEDS = 30	4.5 0.15 SPACES / BED	N/A	5
SINGLE RESIDENT OCCUPANCY SUITES (LIMITED KITCHEN, RELY ON COMMON DINING ROOM)	15 SUITES	15 1 SPACE / SUITE	N/A	2
COMMERCIAL USES:				
OFFICE / PERSONAL SERVICE (ADMINISTRATION, CONSULTATION ROOMS, COMMUNITY ACCESS ROOMS)	GROSS = 128 m ² NET = 62m ²	2.8 1 / 45m ² FLOOR AREA per Section 4.2.B.(1)	N/A	3 1 / 45m ² FLOOR AREA per Section 4.2.B.(1)
TOTAL		23	8 UNMARKED	10 (13 CASH-IN-LIEU)
BARRIER FREE SPACES		1	UNMARKED	1
LOADING	RESIDENTIAL = 0 per Section 4.6.2 (A)ii COMMERCIAL = 0 per Section 4.6.2 (B)1i EMERGENCY SHELTER = 1 x 8'		UNMARKED	1 8' (3.6 x 6m)



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PROJECT:
BROCK MISSION MEN'S SHELTER

217 MURRAY STREET, PETERBOROUGH, ONTARIO

DRAWING TITLE:
SITE PLAN - PROPOSED

PROJECT NO: 14276
SCALE: 1 : 150
DRAWN BY: AJ
REVIEWED BY: JL

DRAWING NO:
A-2

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**BROCK MISSION
 MEN'S SHELTER**

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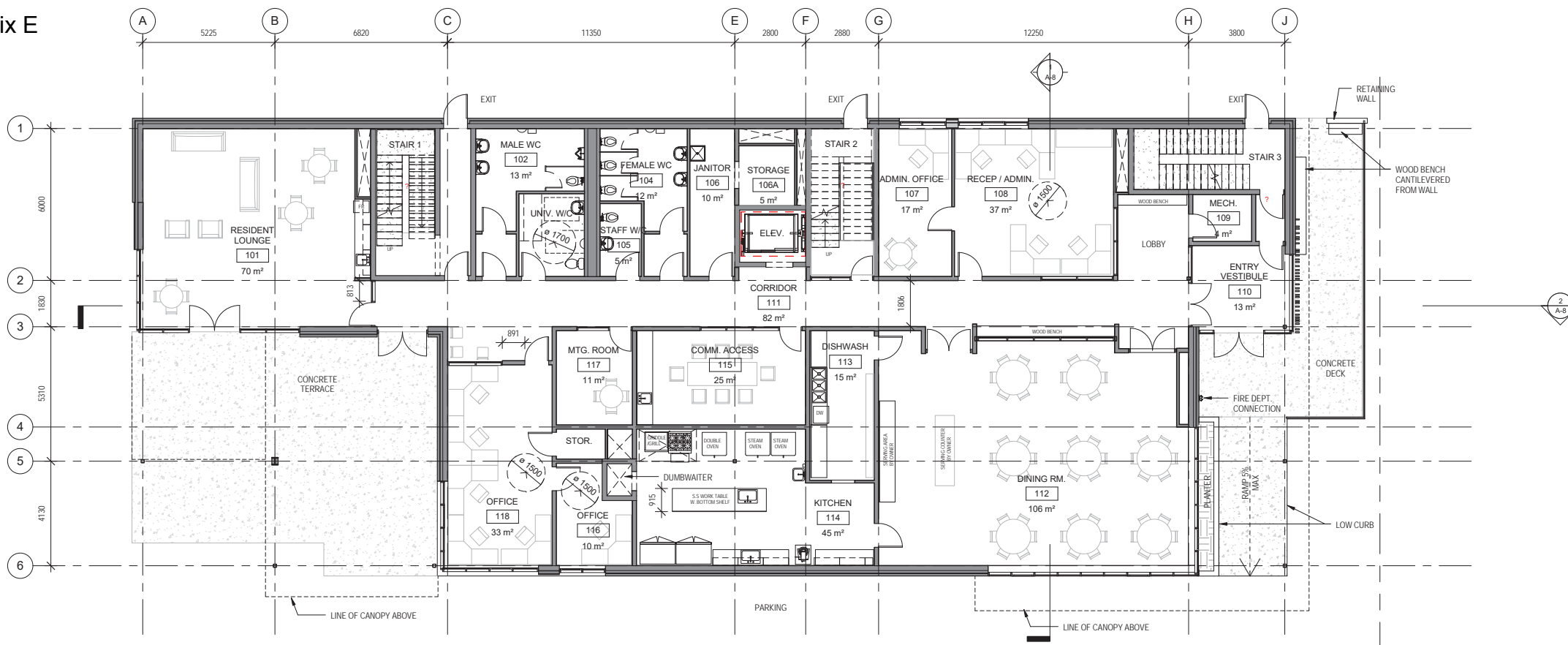
DRAWING TITLE:
**SCHEMATIC FLOOR
 PLANS - GROUND &
 BASEMENT FLOORS**

PROJECT NO: 14276
 SCALE: 1 : 100
 DRAWN BY: AJ
 REVIEWED BY: JL

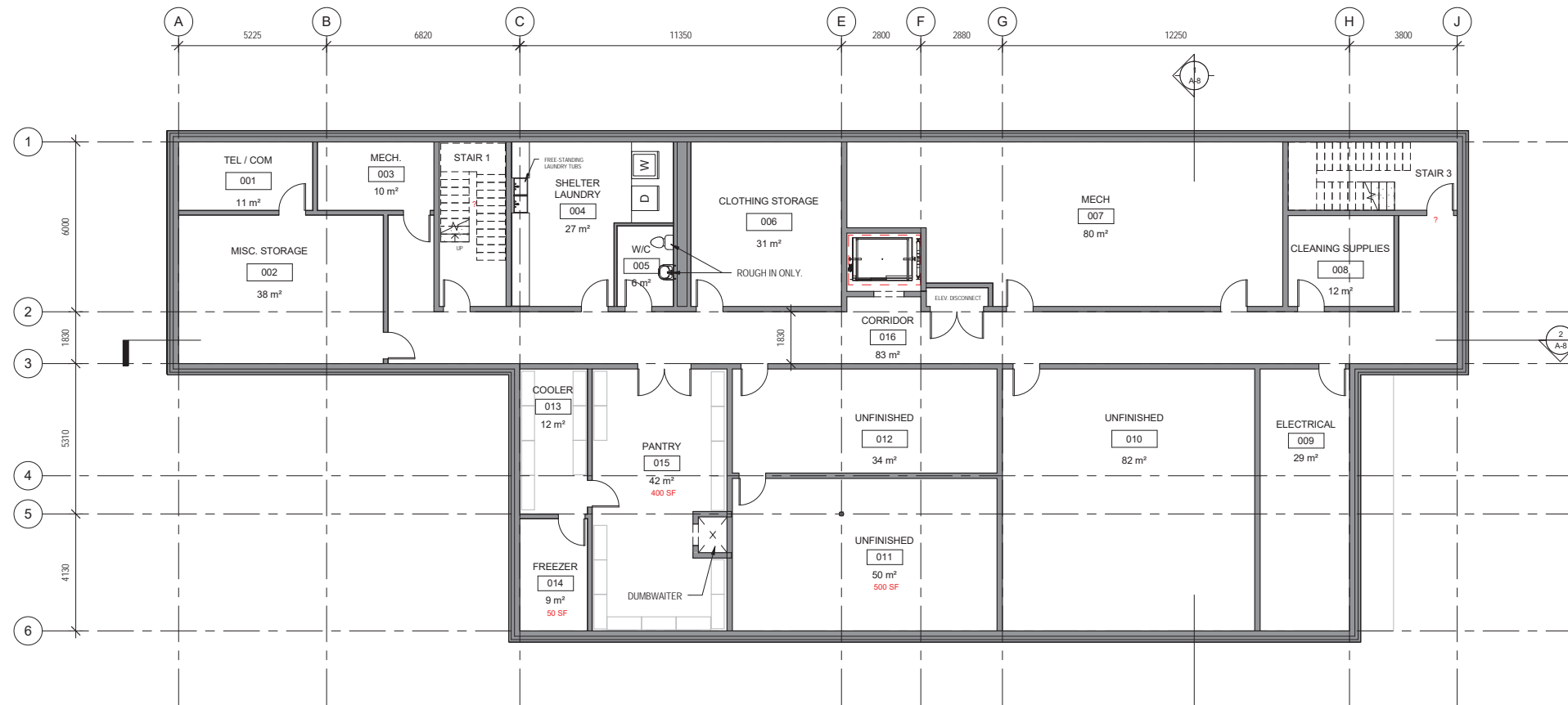


DRAWING NO:

A-3



2 Ground Floor
 1 : 100



NOTE: FINISHED FLOOR 2080mm BELOW EXIST. BASEMENT FINISH FLOOR LEVEL

Area Schedule (Gross Floor Area)	
Level	Area (m ²)
Basement F.F. (199.85masl)	680 m ²
Ground Floor (204.00masl)	680 m ²
Second Floor	540 m ²
Third Floor	524 m ²
	2,424 m ²

1 Basement
 1 : 100

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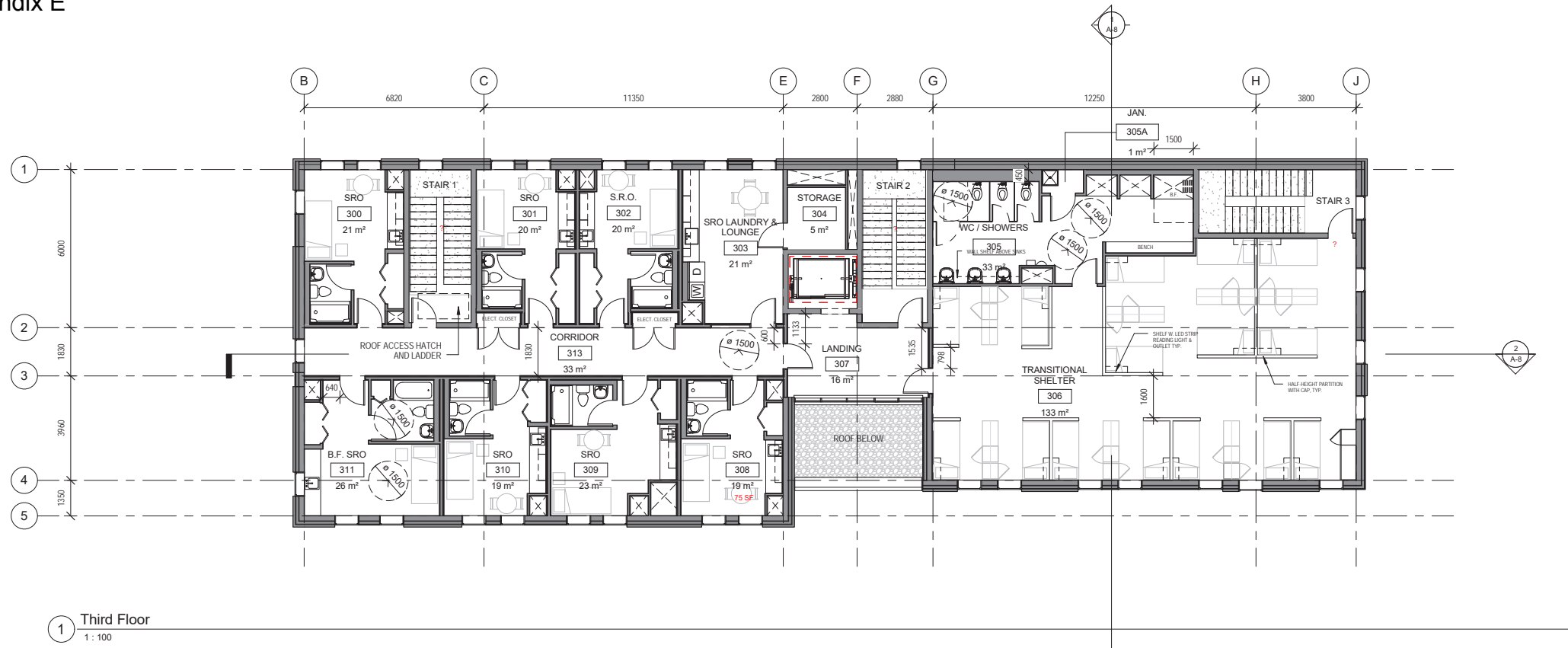
DRAWING TITLE:
**SCHEMATIC FLOOR
 PLANS - SECOND &
 THIRD FLOORS**

PROJECT NO: 14276
 SCALE: 1 : 100
 DRAWN BY: AJ
 REVIEWED BY: JL



DRAWING NO:

A-4

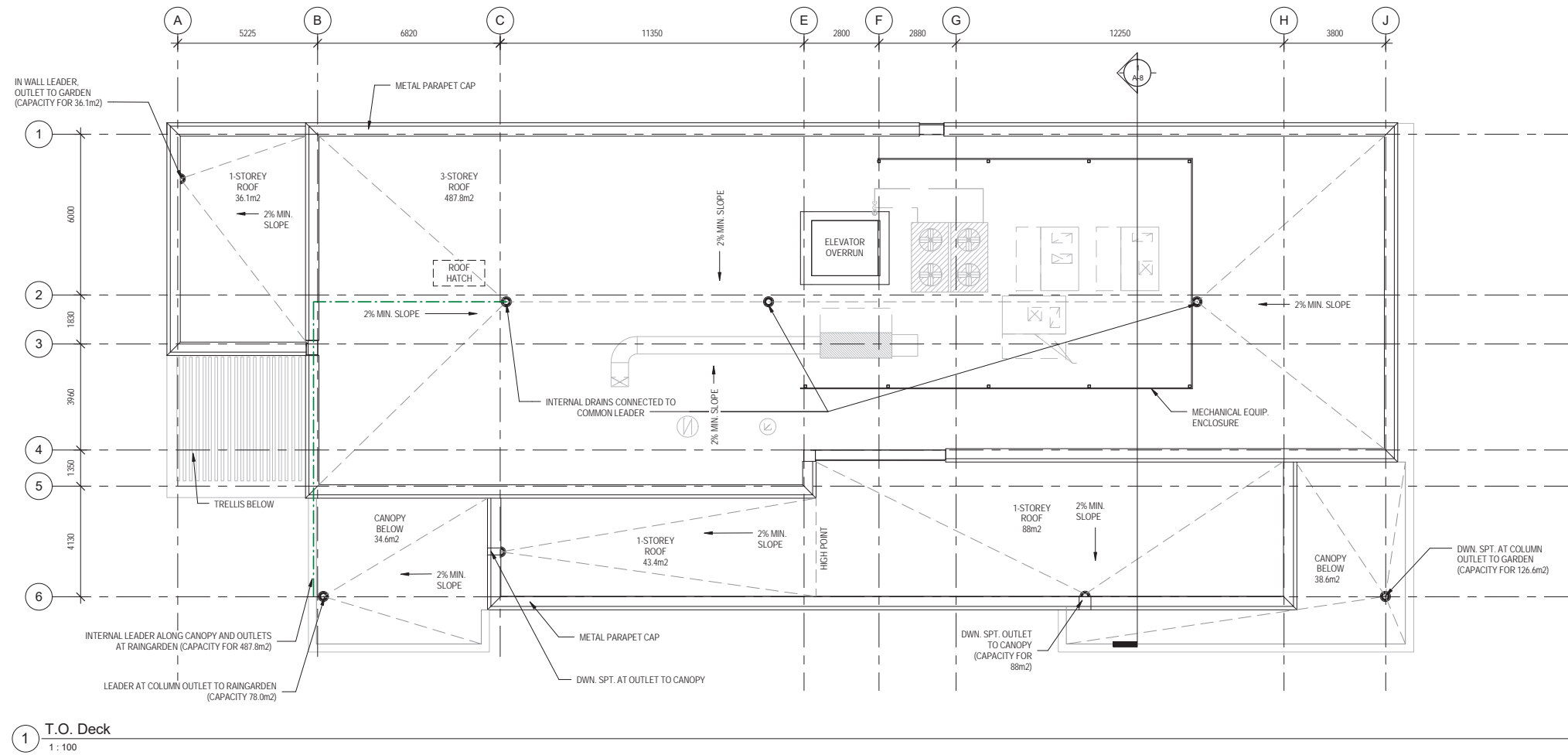


1 Third Floor
 1 : 100



2 Second Floor
 1 : 100

Area Schedule (Gross Floor Area)	
Level	Area (m2)
Basement F.F. (199.85masl)	680 m ²
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PROJECT:
**BROCK MISSION
 MEN'S SHELTER**

217 MURRAY STREET, PETERBOROUGH, ONTARIO

DRAWING TITLE:
ROOF PLAN

PROJECT NO: 14276
 SCALE: 1 : 100
 DRAWN BY: AJ
 REVIEWED BY: JL



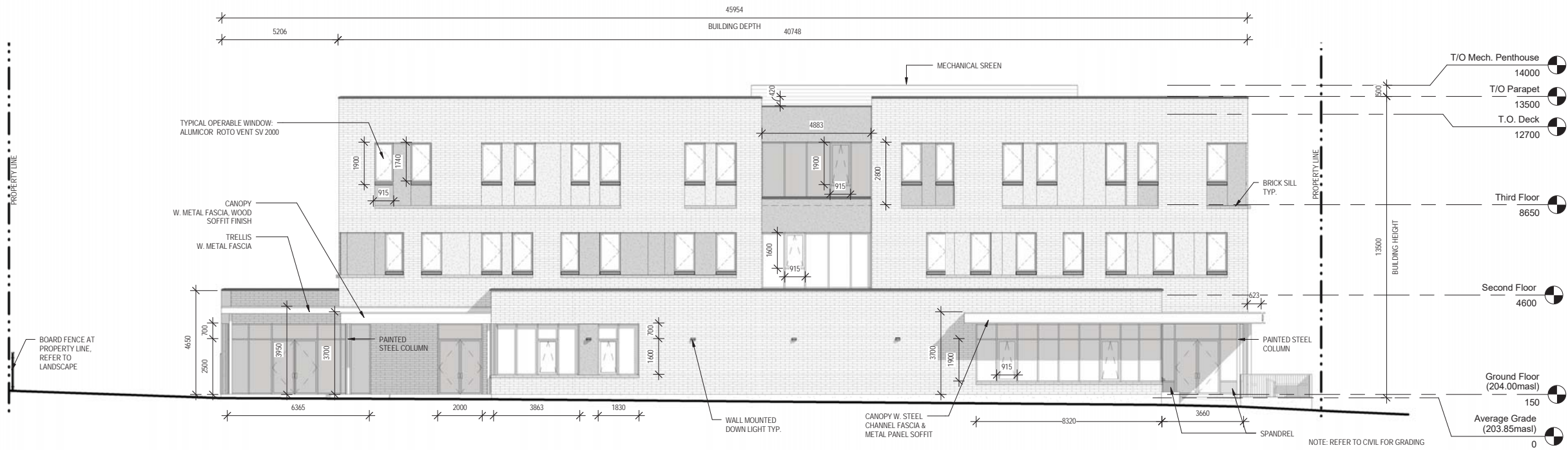
DRAWING NO:
A-5

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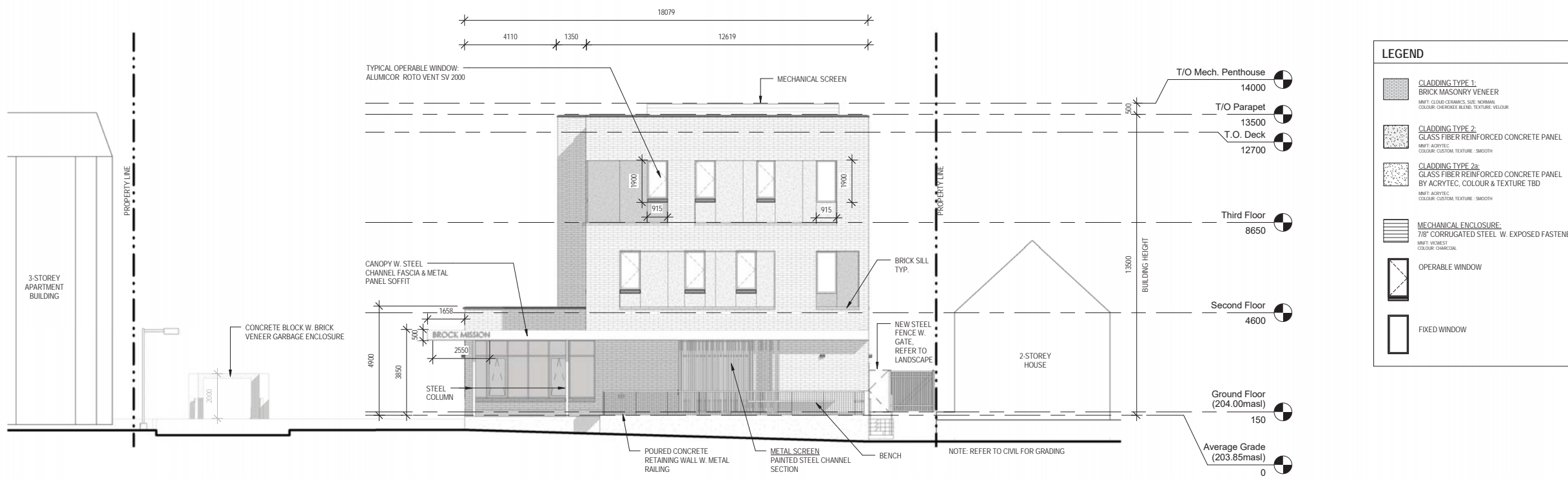
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CONTEXT PLAN:



1 East Elevation
 1: 100



2 North Elevation
 1: 100

LEGEND

- CLADDING TYPE 1: BRICK MASONRY VENEER
MINT: CLOUD CERAMICS, SIZE: NORMAL, COLOUR: CHARCOAL BLEND, TEXTURE: VELLUR
- CLADDING TYPE 2: GLASS FIBER REINFORCED CONCRETE PANEL
MINT: ACRYTEC, COLOUR: CUSTOM, TEXTURE: SMOOTH
- CLADDING TYPE 2a: GLASS FIBER REINFORCED CONCRETE PANEL BY ACRYTEC, COLOUR & TEXTURE TBD
MINT: ACRYTEC, COLOUR: CUSTOM, TEXTURE: SMOOTH
- MECHANICAL ENCLOSURE: 7/8" CORRUGATED STEEL W. EXPOSED FASTENERS
MINT: WICKSTEEL, COLOUR: CHARCOAL
- OPERABLE WINDOW
- FIXED WINDOW

Legend - Elevations
 1: 100

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DRAWING TITLE:
EXTERIOR ELEVATIONS

PROJECT NO: 14276
 SCALE: 1: 100
 DRAWN BY: AJ
 REVIEWED BY: JL

DRAWING NO:
A-6

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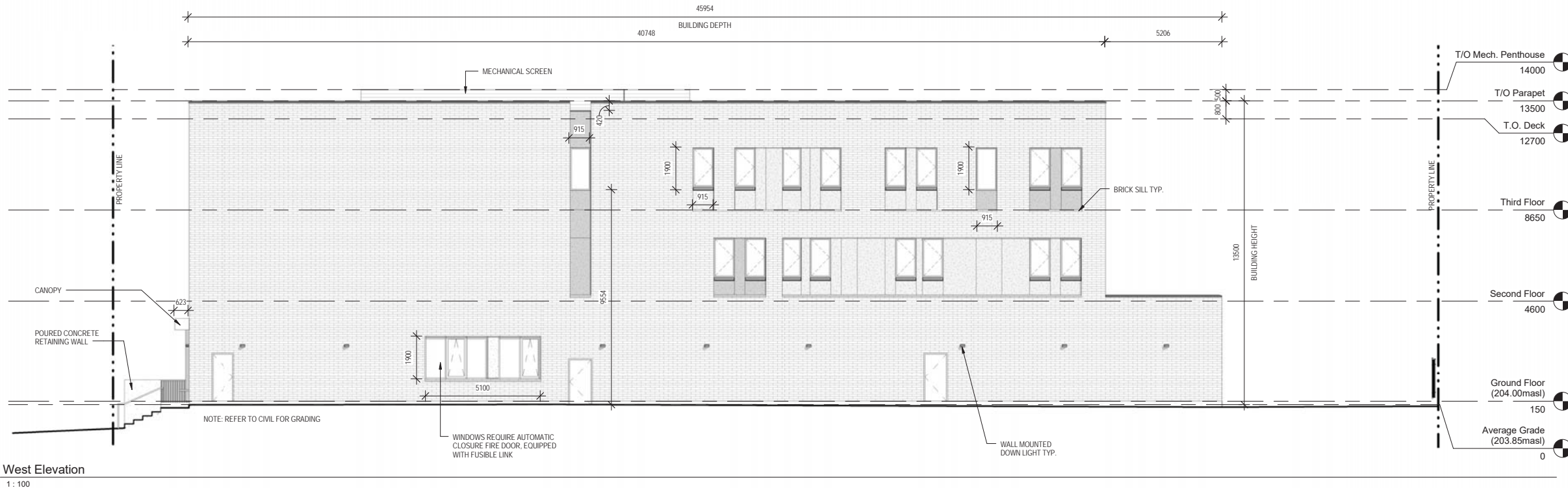
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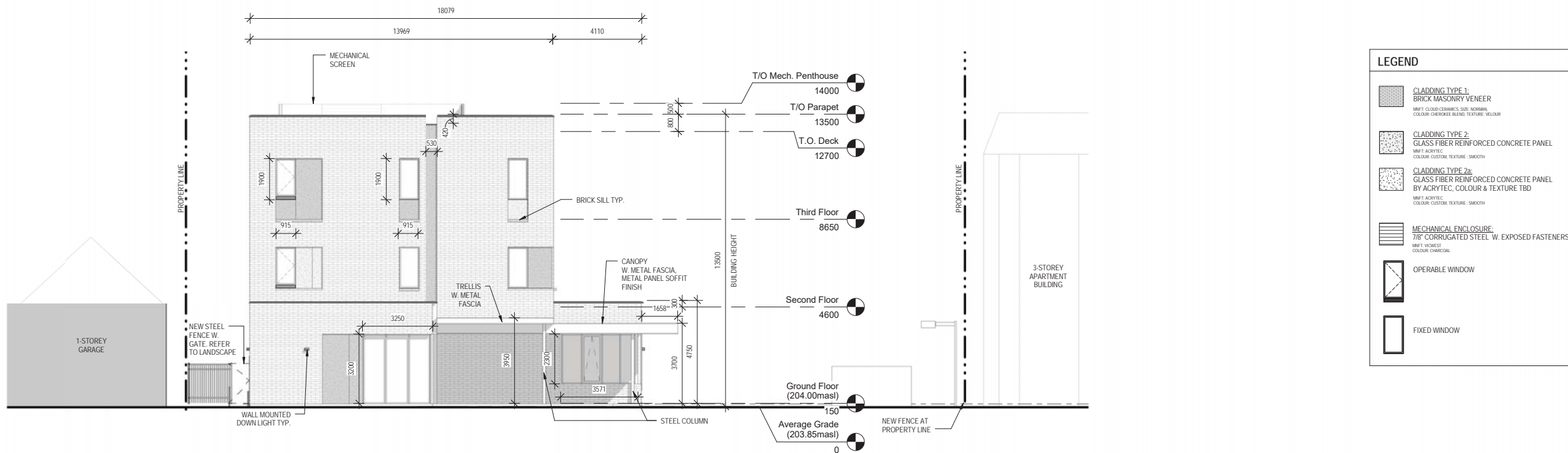
DRAWING TITLE:
**EXTERIOR
 ELEVATIONS**

PROJECT NO: 14276
 SCALE: 1 : 100
 DRAWN BY: Author
 REVIEWED BY: Checker

DRAWING NO:
A-7



2 West Elevation
 1 : 100



1 South Elevation
 1 : 100

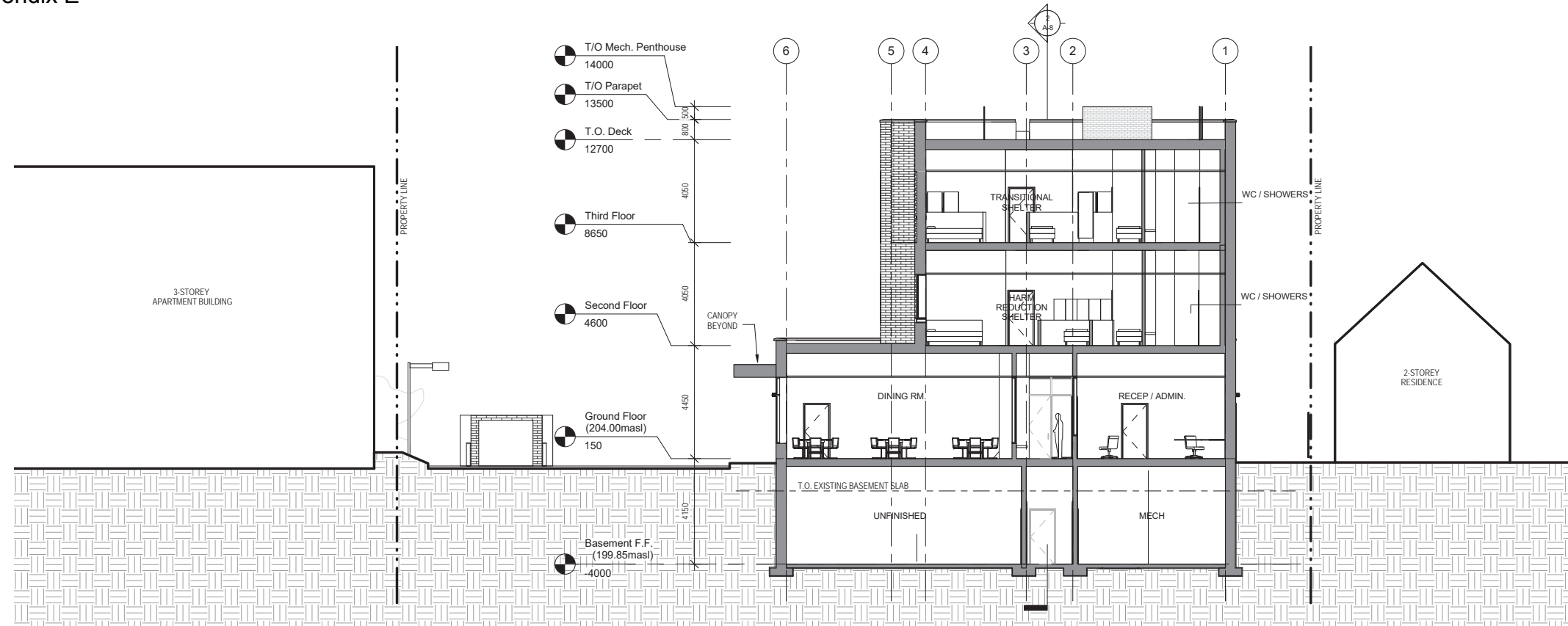
Legend - Elevations
 1 : 100

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CONTEXT PLAN:



1 Building Section - East/West
 1:100

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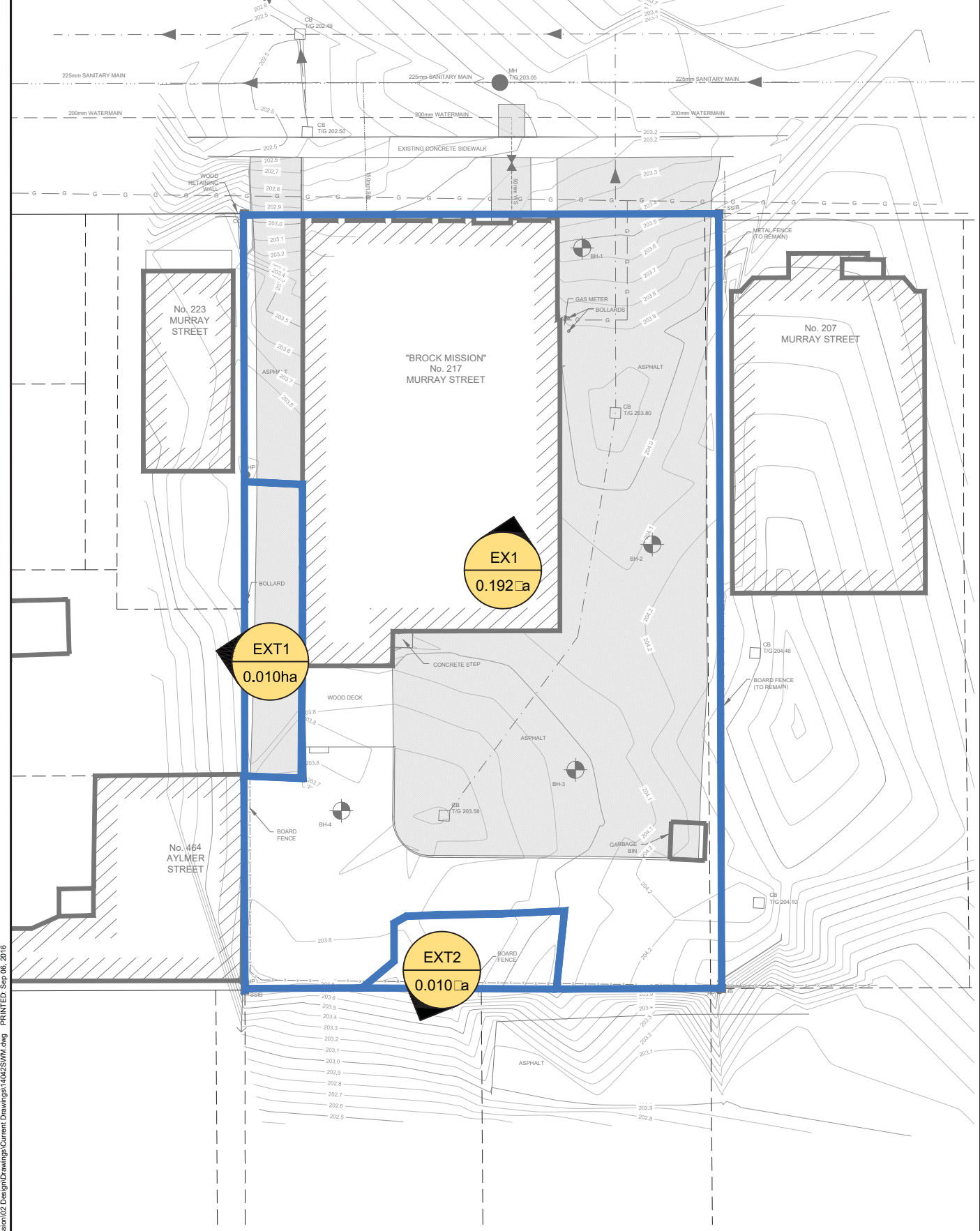
DRAWING TITLE:
BUILDING SECTIONS

PROJECT NO: 14276
 SCALE: 1:100
 DRAWN BY: AJ
 REVIEWED BY: JL

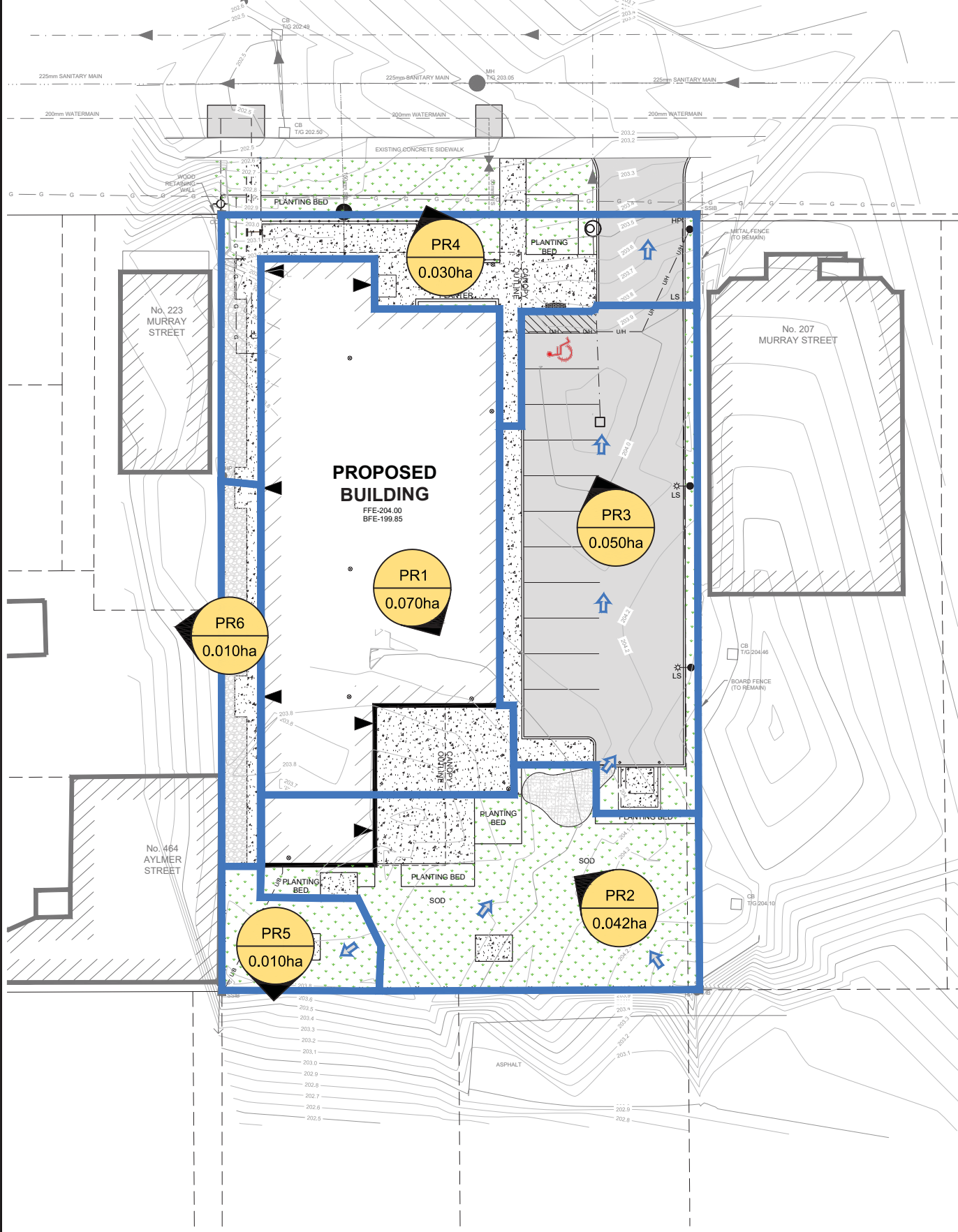
DRAWING NO:
A-8



2 Building Section - North/South
 1:100



PRE-DEVELOPMENT DRAINAGE AREA PLAN



POST-DEVELOPMENT DRAINAGE AREA PLAN

BENCHMARK
ELEVATION - 205.087
TABLET IN TOP OF MONUMENT
0015201959 IN CONFIRMATION
SQUARE, 15.2m SOUTH OF SOUTHERLY
LIMIT OF AYLMER STREET AND 38.1m
WEST OF WESTERLY LIMIT OF GEORGE
STREET

KEY PLAN

LEGEND

- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPOSED GRASSLANDSCAPED
- EX./PR. SIDEWALK
- EX./PR. BUILDING
- EX./PR. CATCH BASIN MANHOLE
- EX./PR. STORM MANHOLE
- EX./PR. CATCH BASIN
- R.O.W.
- PROPERTY LINE
- EX./PR. CONTOUR
- PR1 0.070ha WATERSHED IDENTIFICATION
- AREA IN HECTARES
- CATCHMENT BOUNDARY
- OVERLAND FLOW ROUTE

**BROCK MISSION,
217 MURRAY STREET**

CITY OF PETERBOROUGH

**STORMWATER
DRAINAGE AREAS**

1	2016-09-07	JD	ISSUED FOR SPA - 1st SUBMISSION
No.	DATE	BY	REVISION

ENGAGE ENGINEERING

DRAWN: J. DUNN
DESIGNED: J. DUNN
APPROVED: A. HILL
DATE: AUGUST 18, 2016

SCALE: HORIZ 1:200
VERT. -

PROJECT NO.: 14042
DRAWING FILE NO.: 14042SWM
SHT. NO.: 01

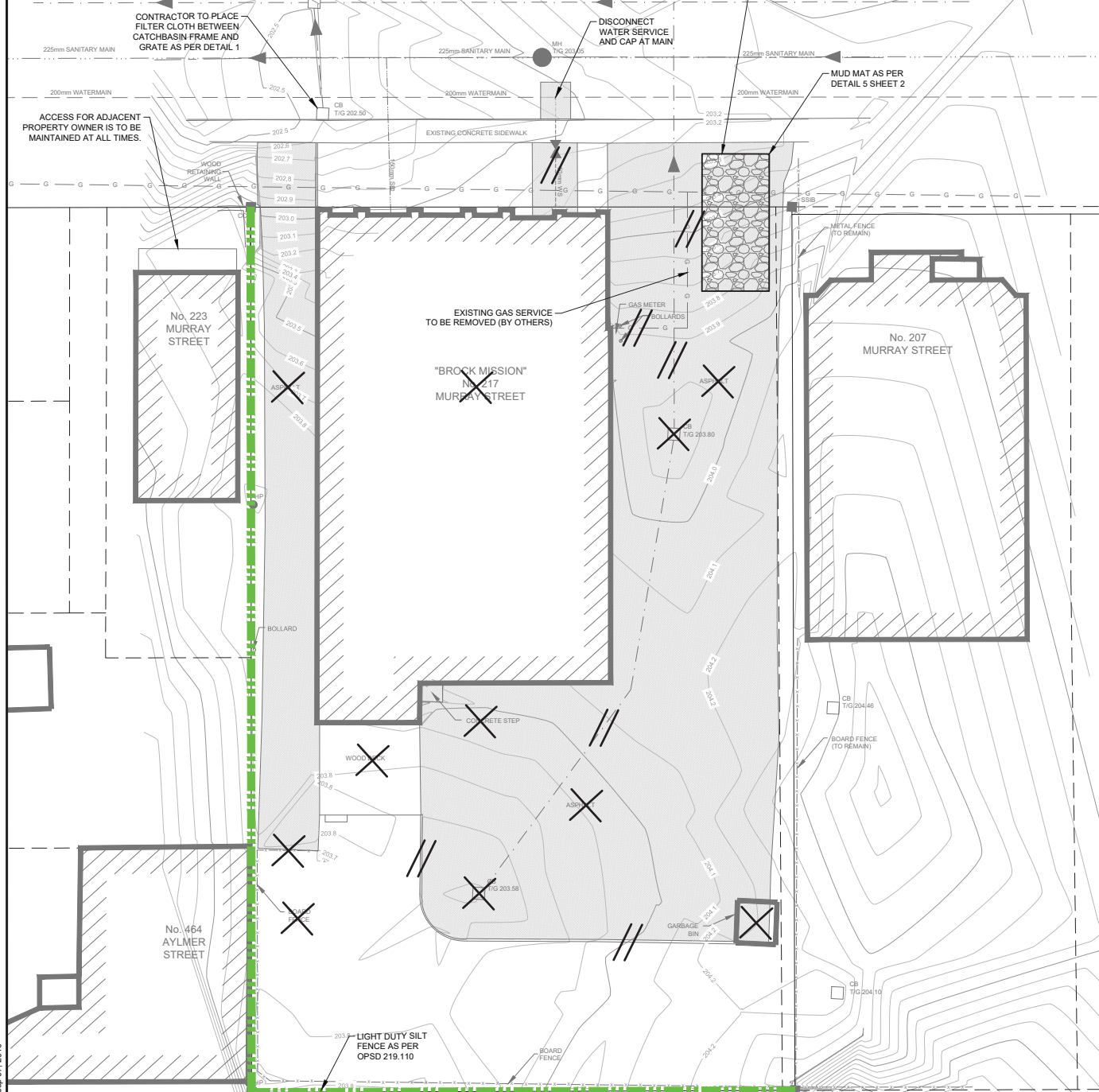
LICENSED PROFESSIONAL ENGINEER
A. M. HILL
100164239
2016-07-07
PROVINCE OF ONTARIO

S:\01 - Projects\14001-14042 Brock Mission\02 - Design\Drawings\Current\Drawings\14042SWM.dwg PRINTED: Sep 08, 2016

Appendix E

MURRAY STREET

CONSTRUCTION ENTRANCE

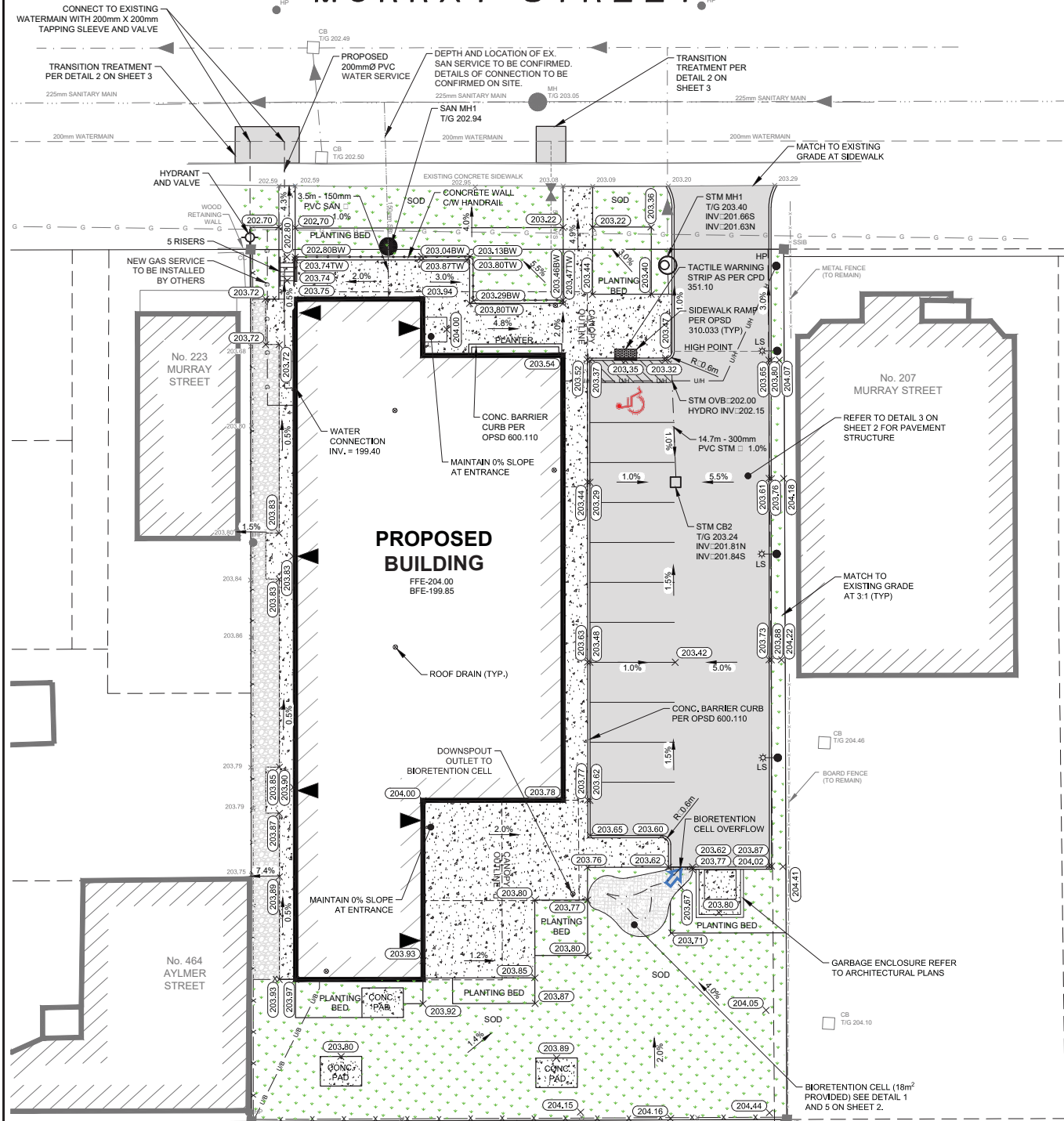


EROSION CONTROL NOTES

1. THE PROPOSED WORKS SHALL BE CARRIED OUT IN SUCH A MANNER THAT A MINIMUM AMOUNT OF EROSION OCCURS AND SUCH THAT SEDIMENTATION FACILITIES CONTROL ANY EROSION THAT DOES OCCUR.
2. ALL TEMPORARY SILTATION CONTROL DEVICES ARE TO BE CONSTRUCTED BEFORE CONSTRUCTION STARTS AND MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL REMOVAL.
3. SEDIMENT ACCUMULATION OF MORE THAN 0.3 METRES IS TO BE REMOVED IMMEDIATELY.
4. INSPECT SILT FENCING AFTER EVERY SIGNIFICANT RAINFALL EVENT AND MAINTAIN AS REQUIRED, OR AT THE DIRECTION OF THE ENGINEER.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (SILT FENCE, CLEAR STONE, ETC.) ARE TO BE KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
6. EROSION AND SEDIMENT CONTROL METHODS ARE TO BE CONTINUOUSLY EVALUATED AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
7. ENSURE THAT APPROPRIATE RESPONSE IS TAKEN FOR SPILLS AND ANY INCIDENTS ARE PROPERLY DOCUMENTED AND REPORTED.
8. AT THE COMPLETION OF CONSTRUCTION, ANY EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
9. REMOVE SILT FENCE, MUD MAT AND ANY OTHER EROSION/SILTATION CONTROL MEASURES ONCE ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL VEGETATION HAS BEEN ESTABLISHED AND AT THE DIRECTION OF THE ENGINEER.

REMOVALS/EROSION AND SEDIMENT CONTROL

MURRAY STREET



GENERAL NOTES:

1. SEE LANDSCAPE PLANS FOR DETAILS ON PLANTING AND VEGETATED AREAS.
2. ALL COSTS IN RELATION TO THE RESTORATION OF THE RIGHT OF WAY SHALL BE THAT OF THE GENERAL CONTRACTOR.
3. RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
4. A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE AND WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER MUNICIPAL FIELD STAFF DIRECTION.

SITE SERVICING AND SITE GRADING

BENCHMARK ELEVATION - 205.087

TABLET IN TOP OF MONUMENT 001 1820 X 1850 IN CONFIRMATION SQUARE, 15.2m SOUTH OF SOUTHERLY LIMIT OF MCGOWAN STREET AND 38.7m WEST OF WESTERLY LIMIT OF GEORGE STREET



KEY PLAN

LEGEND

- PROPOSED PEA GRAVEL
- PROPOSED GRASS/LANDSCAPED
- EX./PR. SIDEWALK
- EX./PR. BUILDING
- EX./PR. EDGE OF PAVEMENT
- EX./PR. CURB
- EX./PR. ROAD CENTERLINE
- EX./PR. SANITARY MANHOLE
- EX./PR. CATCH BASIN MANHOLE
- EX./PR. STORM MANHOLE
- EX./PR. CATCH BASIN
- EX./PR. FIRE HYDRANT
- EX./PR. WATER VALVE
- EXISTING LIGHT STANDARD
- EXISTING HYDRO POLE
- EXISTING BELL POLE
- EX. BELL CABLE PEDESTAL
- EX. IRON BAR
- EX./PR. ELEVATION
- PROPOSED GRADE
- EXISTING GASMAIN
- EX. UNDERGROUND BELL
- EX. OVERHEAD HYDRO
- EX. UNDERGROUND HYDRO
- EX. HYDRO MH
- EX. BELL MH
- EX. GAS VALVE
- EX./PR. DITCH
- EX./PR. STORM SEWER
- EX./PR. SANITARY SEWER
- EX./PR. WATERMAIN
- EX./PR. STORM SERVICE
- EX./PR. SANITARY SERVICE
- EX./PR. WATER SERVICE
- EX./PR. FENCE
- R.O.W.
- PROPERTY LINE
- EXISTING VEGETATION
- EX./PR. CONTOUR
- EX./PR. SIGN
- OVERLAND FLOW ROUTE

BROCK MISSION, 217 MURRAY STREET

CITY OF PETERBOROUGH

SITE SERVICING AND GRADING PLAN

No.	DATE	BY	REVISION
1	2016-09-07	JD	ISSUED FOR SPA - 1st SUBMISSION



DRAWN:	J. DUNN
DESIGNED:	J. DUNN
APPROVED:	A. HILL
DATE:	AUGUST 18, 2016



SCALE:	HORIZ: 1:200	VERT: -
PROJECT NO.:	14042	DRAWING FILE NO.:
		14042GP
SHT. NO.:		01

Appendix E

GENERAL:

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH:
 - CITY OF PETERBOROUGH STANDARDS
 - PETERBOROUGH UTILITIES STANDARDS
 - ONTARIO PROVINCIAL STANDARD DRAWINGS & SPECIFICATIONS
 - APPLICABLE CONTRACT DOCUMENTS AND ALL SPECIFICATIONS REFERENCED HEREIN.
- THE CONTRACTOR SHALL CONSTRUCT ALL WORK IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT, HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS.
- THE CONTRACTOR SHALL RESTORE OR REPLACE DAMAGED SERVICES TO EXISTING OR BETTER CONDITION.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING OR BETTER CONDITION, OR PER THE ENGINEERING AND LANDSCAPE SPECIFICATIONS REFERENCED HEREIN.
- THE CONTRACTOR SHALL COORDINATE AND PAY FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES IN ACCORDANCE WITH THE ONTARIO TRAFFIC MANUAL, BOOK 7, TEMPORARY CONDITIONS.
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIALS IN ACCORDANCE WITH THE MINISTRY OF THE ENVIRONMENT GUIDELINES AND LOCAL MUNICIPAL BYLAWS.
- WHERE UTILITIES ARE SHOWN ON THE CONTRACT DRAWINGS, THEIR LOCATION IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE WORK INCLUDING ROAD CUT PERMITS, OCCUPANCY PERMITS, ENCROACHMENT AGREEMENTS.
- ANY UTILITY POLES THAT MAY BE UNDERMINED BY THE CONSTRUCTION ACTIVITY ARE TO BE BRACED. THE CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS TO HAVE THE POLES BRACED IN ACCORDANCE WITH THE APPROPRIATE UTILITY REQUIREMENTS; THE COST FOR THIS WORK IS INCLUDED IN THE UNIT PRICES FOR THE WORK ITEMS AFFECTED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED ON THE CONTRACT DRAWINGS ARE TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- ACCESS TO ADJACENT PRIVATE PROPERTIES SURROUNDING THE CONSTRUCTION SITE SHALL BE MAINTAINED AT ALL TIMES. TEMPORARY ACCESS RESTRICTIONS WILL ONLY BE PERMITTED WHERE REQUIRED TO FACILITATE UNDERGROUND SERVICING, ASPHALT AND CONCRETE PLACEMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY AND THE AFFECTED PROPERTY OWNERS PRIOR TO ACCESS INTERRUPTION. GENERAL CONTRACTOR MUST MAINTAIN ACCESS FOR PETERBOROUGH HOUSING RESIDENCE AND SERVICE VEHICLES THROUGHOUT CONSTRUCTION.
- ALL PROPERTY BARS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT THE CONCLUSION OF THE CONTRACT, AT THEIR EXPENSE.
- ALL MANHOLE AND CATCHBASIN FRAMES AND GRATES WITHIN THE TRAVELED PORTION OF THE ROAD SHALL BE SET TO BASE ASPHALT ELEVATION AND RAISED PRIOR TO PLACEMENT OF SURFACE ASPHALT.
- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
- EXISTING SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND SALVAGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND REINSTALLED UPON COMPLETION. REGULATORY SIGNAGE SHALL REMAIN IN PLACE AT ALL TIMES.
- ALL COSTS IN RELATION TO THE RESTORATION OF THE RIGHT OF WAY SHALL BE THAT OF THE GENERAL CONTRACTOR.
- RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR NOTICE TO THE UTILITY SERVICES DEPARTMENT.
- ALL WORK COMPLETED IN THE ROAD ALLOWANCE, INCLUDING RESTORATION, MUST BE PERFORMED PER MUNICIPAL FIELD STAFF DIRECTION.
- A ROAD OCCUPANCY AND/OR CUT PERMIT WILL BE REQUIRED FOR ANY WORK BEING UNDERTAKEN IN THE MUNICIPAL ROAD ALLOWANCE

STORM SEWER AND WATERMAIN:

- THE CONTRACTOR SHALL INSTALL PRECAST CONCRETE MANHOLES AS PER OPSD 701.010 AND OPSD 401.010 RESPECTIVELY UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL PRECAST CONCRETE CATCH BASIN MANHOLES AS PER OPSD 701.010 AND OPSD 400.020 RESPECTIVELY UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL DOUBLE CATCHBASIN MANHOLES COMPLETE WITH FRAME, GRATE AS PER OPSD 701.0110 AND OPSD 400.020 RESPECTIVELY UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
- ALL AREA DRAINS ARE TO BE WATTS CANADA MODEL FD-340.
- THE CONTRACTOR SHALL INSTALL SUBDRAIN PIPE UNDER CONCRETE CURB AND PAVEMENT STRUCTURE AS PER OPSD 216.021, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PERFORM LEAK AND DEFLECTION TESTING ON ALL STORM SEWERS IN ACCORDANCE WITH CONTRACT DOCUMENTS AND OPS 410 RESPECTIVELY.
- THE CONTRACTOR SHALL CLEAN AND PERFORM CCTV INSPECTION ON ALL STORM SEWERS IN ACCORDANCE WITH CONTRACT DOCUMENTS AND OPS 409 RESPECTIVELY.
- THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE ENGINEER PRIOR TO CONDUCTING PIPE LEAK AND DEFLECTION TESTING, CCTV INSPECTIONS AND/OR CLEANING OF THE STORM SEWER.
- PIPE BEDDING, COVER AND BACKFILL SHALL BE IN ACCORDANCE WITH THE OPSD 802.010 FOR FLEXIBLE PIPE AND OPSD 802.030 FOR CONCRETE PIPE. BEDDING AND COVER SHALL BE GRANULAR "A" COMPACTED TO 100% SPDD; BACKFILL SHALL BE NATIVE MATERIAL OR GRANULAR "B", COMPACTED TO 100% SPDD.
- ALL STORM MANHOLES SHALL BE BENCHED IN ACCORDANCE WITH OPSD 701.021. ALL CATCHBASINS SHALL HAVE A MINIMUM 0.6m SUMP.

SURVEY:

- EXISTING UNDERGROUND SERVICES, UTILITIES, AND TOPOGRAPHIC INFORMATION IS BASED UPON:
 - TOPOGRAPHIC SURVEY PROVIDED BY BENINGER SURVEYORS, JOB No. 25133-T DATED OCTOBER 21, 2009.
 - LEGAL BOUNDARY INFORMATION PROVIDED BY BENINGER SURVEYORS, JOB No. 25133-T DATED OCTOBER 21, 2009.
- THE CONTRACTOR SHALL PROVIDE DETAILED LAYOUT FOR THE WORK INCLUDING CALCULATIONS OF LAYOUT DIMENSIONS AND ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE AN AUTOCAD DIGITAL FILE AND ACCOMPANYING HARDCOPY OF THE AS CONSTRUCTED SERVICING AND SITE GRADING. THE DRAWINGS SHALL CONVEY ALL UNDERGROUND SERVICING AND INFRASTRUCTURE BASED ON TOPOGRAPHIC SURVEY OF THE WORKS.

ROADS

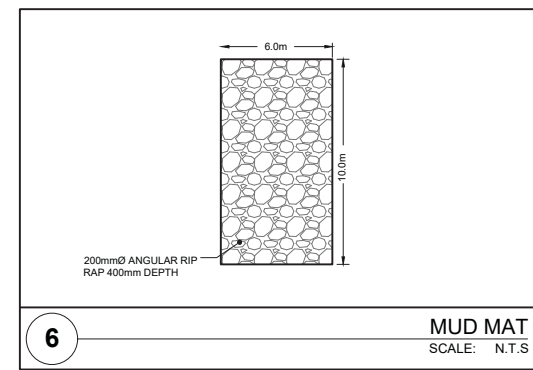
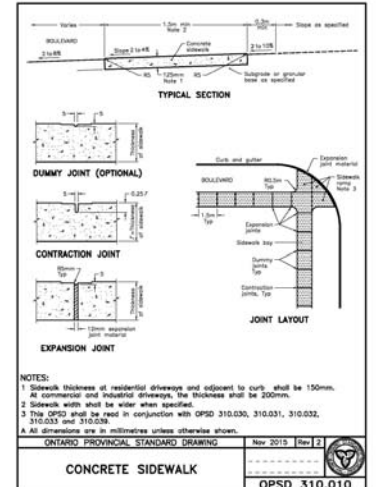
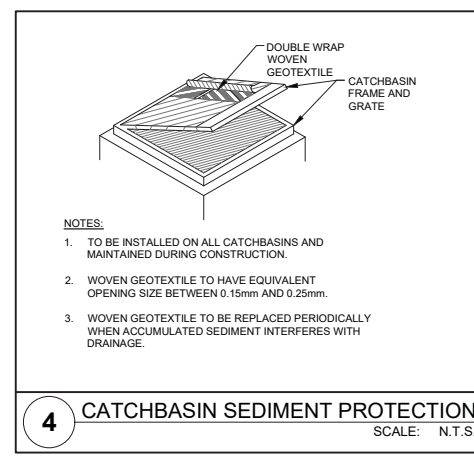
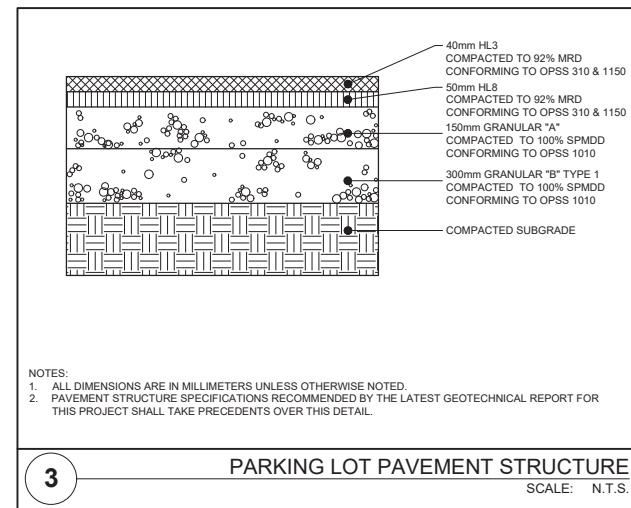
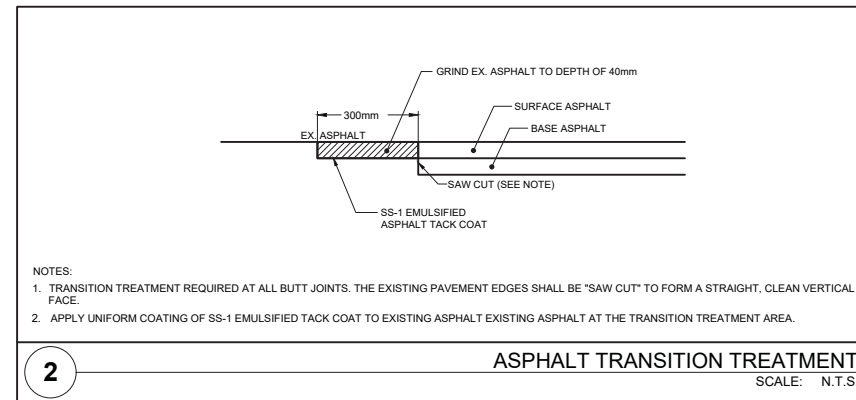
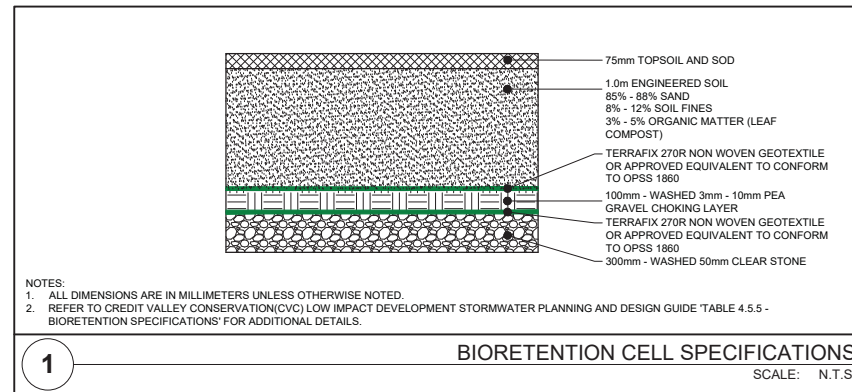
- IN AREAS WHERE PARKING OR ENTRANCEWAY ARE PROPOSED SUBEXCAVATION TO 1.5m BELOW GRADE IS REQUIRED. THE SUBGRADE AT 1.5m(beg) SHOULD BE COMPACTED AND BUILT BACK UP WITH EXCAVATED MATERIAL. EXCAVATED MATERIAL CONTAINING ORGANICS, ASH, COAL TAR, BRICKS, ETC. SHOULD NOT BE USED TO BUILD GRADE UP TO BASE OF GRANULARS. GEOTEXTILE MAY BE REQUIRED ON CERTAIN AREAS OF THE SUBGRADE AS DIRECTED BY THE GEOTECHNICAL ENGINEER. RECOMMENDATIONS IN THE LATEST GEOTECHNICAL REPORT SHALL TAKE PRECEDENTS OVER THIS NOTE.
- PARKING AREAS SHALL BE COMPACTED TO 98% SPDD. SUBGRADE SHALL BE PROOFROLLED PRIOR TO PLACEMENT OF GRANULAR MATERIAL.

BENCHMARK
ELEVATION - 205.087
TABLET IN TOP OF MONUMENT
001182741850 IN CONFEDERATION
SQUARE, 15.2m SOUTH OF SOUTHERLY
LIMIT OF MCGOWAN STREET AND 38.7m
WEST OF WESTERLY LIMIT OF GEORGE
STREET



KEY PLAN

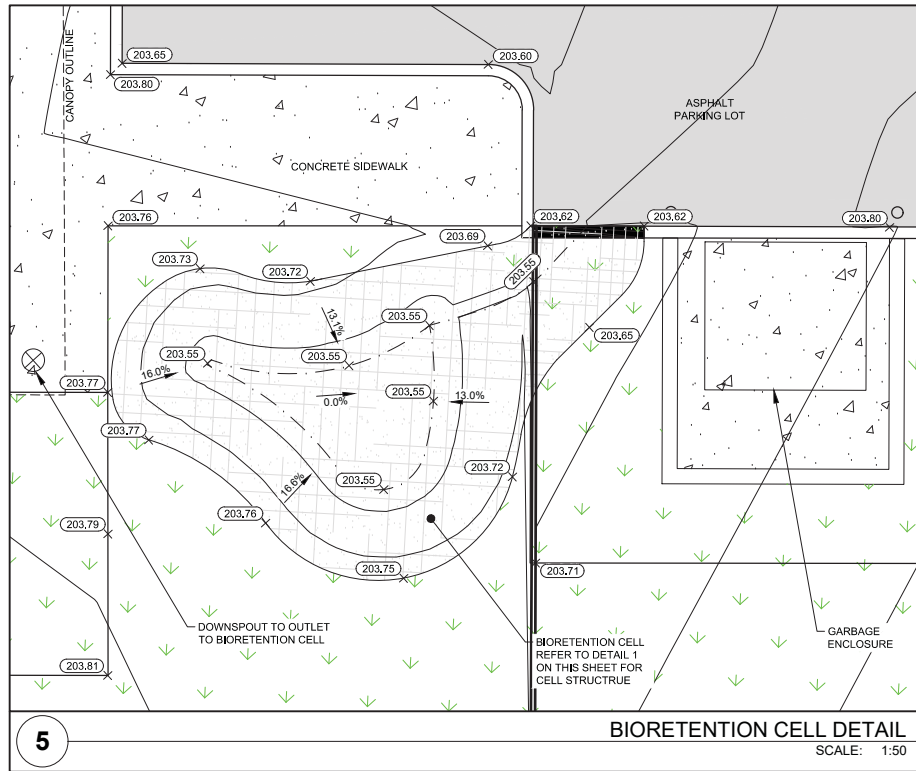
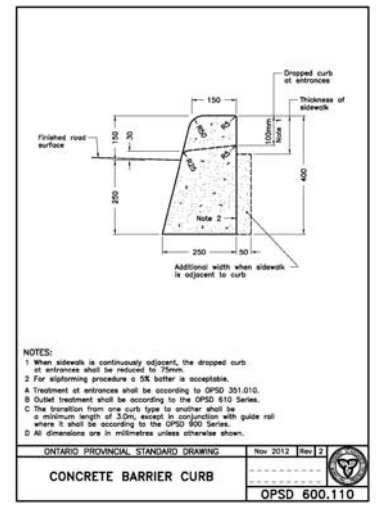
LEGEND



ONTARIO PROVINCIAL STANDARDS

LIGHT DUTY SILT FENCE	OPSD-219.110	OPSS-805 (NOV 2010)
CATCH BASIN AND CATCH BASIN MANHOLE FRAME AND GRATE	OPSD-400.020	OPSS-407 (NOV 2014) OPSS-402 (NOV 2013)
MAINTENANCE HOLE, SQUARE FRAME, CIRCULAR COVER	OPSD-401.010	OPSS-407 (NOV 2014) OPSS-402 (NOV 2013)
MAINTENANCE HOLE STEPS SOLID ALUMINUM	OPSD-405.020	OPSS-407 (NOV 2014)
CONCRETE BARRIER CURB	OPSD-600.110	OPSS-353 (NOV 2010)
1200mm PRECAST MANHOLE	OPSD-701.010	OPSS-407 (NOV 2014) OPSS-402 (NOV 2013) OPSS-407 (NOV 2014)
1200mm PRECAST MANHOLE COMPONENTS	OPSD-701.030	OPSS-407 (NOV 2014) OPSS-402 (NOV 2013) OPSS-407 (NOV 2014)
PRECAST CONCRETE CATCH BASIN	OPSD-705.010	OPSS-407 (NOV 2014) OPSS-402 (NOV 2013) OPSS-410 (NOV 2013)
FLEXIBLE PIPE EMBEDMENT AND BACKFILL EARTH EXCAVATION	OPSD-802.010	OPSS-1010 (APR 2013)
RIGID PIPE EMBEDMENT AND BACKFILL EARTH EXCAVATION TYPE 1 OR 2 SOIL	OPSD-802.030	OPSS-1010 (APR 2013)
CONCRETE SIDEWALK	OPSD-310.010 OPSD-310.020	OPSS-351 (NOV 2010)

MATERIAL SPECIFICATIONS FOR AGGREGATES
CONSTRUCTION/MATERIAL SPECIFICATIONS FOR HOT MIX ASPHALT



BROCK MISSION, 217 MURRAY STREET

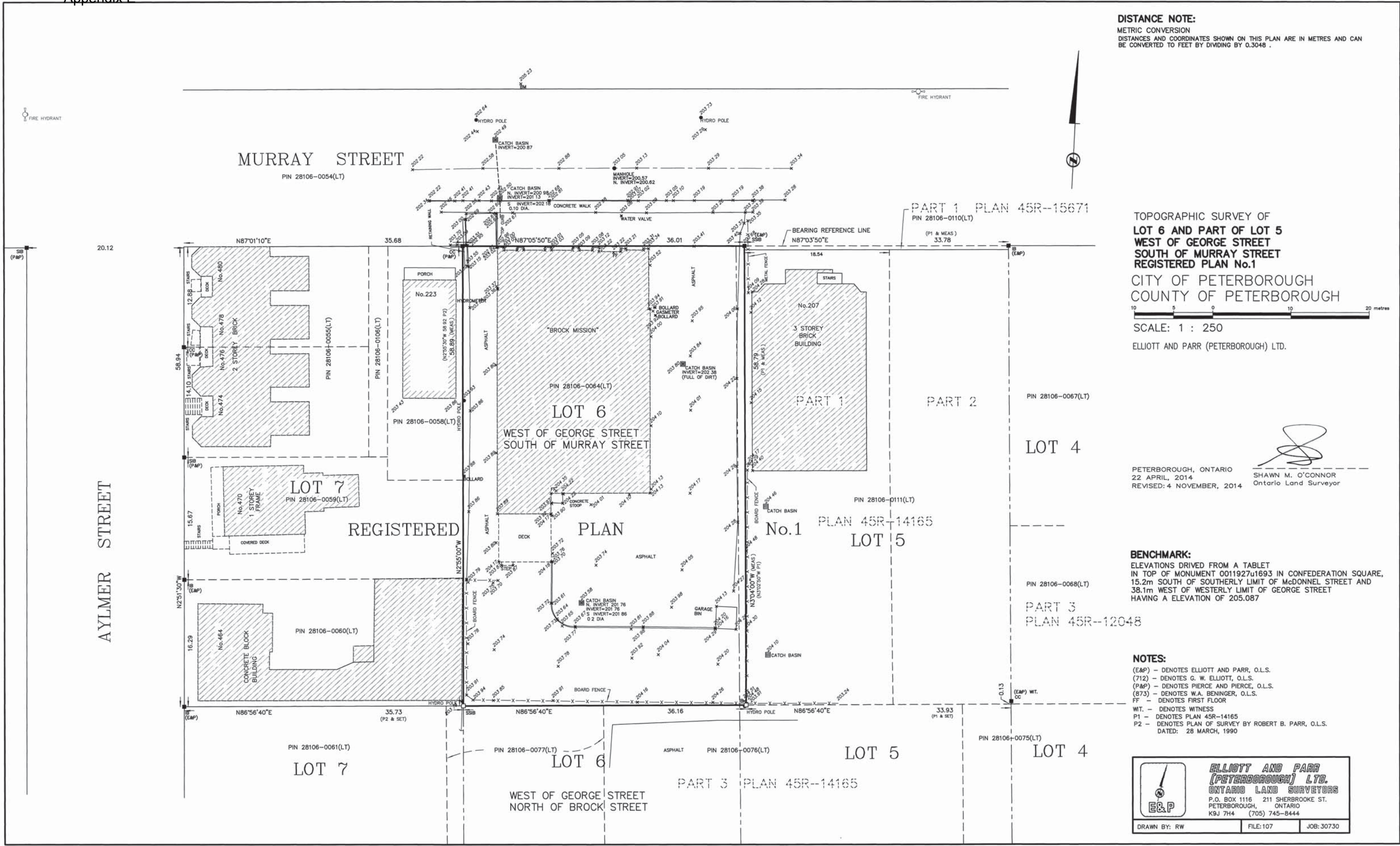
CITY OF PETERBOROUGH

GENERAL NOTES AND DETAILS

1	2016-09-07	JD	ISSUED FOR SPA - 1st SUBMISSION
No.	DATE	BY	REVISION
ENGAGE ENGINEERING			
DRAWN:	J.DUNN		
DESIGNED:	J.DUNN		
APPROVED:	A.HILL		
DATE:	AUGUST 18, 2016		
SCALE:	HORIZ AS NOTED		
PROJECT NO.:	14042	DRAWING FILE NO.:	14042GP
SHT. NO.:			02

LICENSED PROFESSIONAL ENGINEER
A.M. HILL
100194289
2016-07-07
PROVINCE OF ONTARIO

DISTANCE NOTE:
 METRIC CONVERSION
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048 .



TOPOGRAPHIC SURVEY OF
LOT 6 AND PART OF LOT 5
WEST OF GEORGE STREET
SOUTH OF MURRAY STREET
REGISTERED PLAN No.1
 CITY OF PETERBOROUGH
 COUNTY OF PETERBOROUGH

SCALE: 1 : 250
 ELLIOTT AND PARR (PETERBOROUGH) LTD.

PETERBOROUGH, ONTARIO
 22 APRIL, 2014
 REVISED: 4 NOVEMBER, 2014

Shawn M. O'Connor
 SHAWN M. O'CONNOR
 Ontario Land Surveyor

BENCHMARK:
 ELEVATIONS DRIVEN FROM A TABLET
 IN TOP OF MONUMENT 0011927u1693 IN CONFEDERATION SQUARE,
 15.2m SOUTH OF SOUTHERLY LIMIT OF McDONNELL STREET AND
 38.1m WEST OF WESTERLY LIMIT OF GEORGE STREET
 HAVING A ELEVATION OF 205.087

NOTES:
 (E&P) - DENOTES ELLIOTT AND PARR, O.L.S.
 (712) - DENOTES G. W. ELLIOTT, O.L.S.
 (P&P) - DENOTES PIERCE AND PIERCE, O.L.S.
 (B73) - DENOTES W.A. BENINGER, O.L.S.
 FF - DENOTES FIRST FLOOR
 WT. - DENOTES WITNESS
 P1 - DENOTES PLAN 45R-14165
 P2 - DENOTES PLAN OF SURVEY BY ROBERT B. PARR, O.L.S.
 DATED: 28 MARCH, 1990

ELLIOTT AND PARR
(PETERBOROUGH) LTD.
 ONTARIO LAND SURVEYORS
 P.O. BOX 1116 211 SHERBROOKE ST.
 PETERBOROUGH, ONTARIO
 K9J 7H4 (705) 745-8444

DRAWN BY: RW FILE:107 JOB:30730